



# KIKU CROSSING

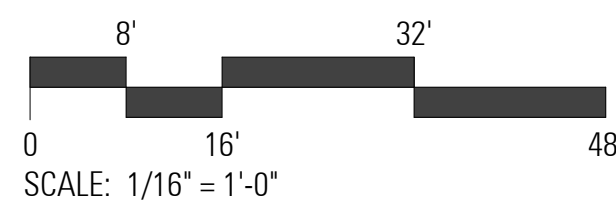
## 480 EAST 4TH AVE SAN MATEO, CA

03/04/20 ENTITLEMENT APPLICATION - 7 STORY HOUSING BLOCK  
04/06/20 ENTITLEMENT RESUBMITTAL- 7 STORY HOUSING BLOCK  
06/01/20 ENTITLEMENT SUBMITTAL - 7 STORY HOUSING BLOCK  
06/15/20 ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK  
03/01/21 ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK  
03/30/21 ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK  
04/26/21 ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

### PROJECT TEAM

- **ARCHITECT:**  
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- **ACOUSTICAL ENGINEER**  
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1  
A301  
1/16" = 1'-0"

EXTERIOR ELEVATION - NORTH - HOUSING BLOCK - STREET

AS CURRENTLY PROPOSED

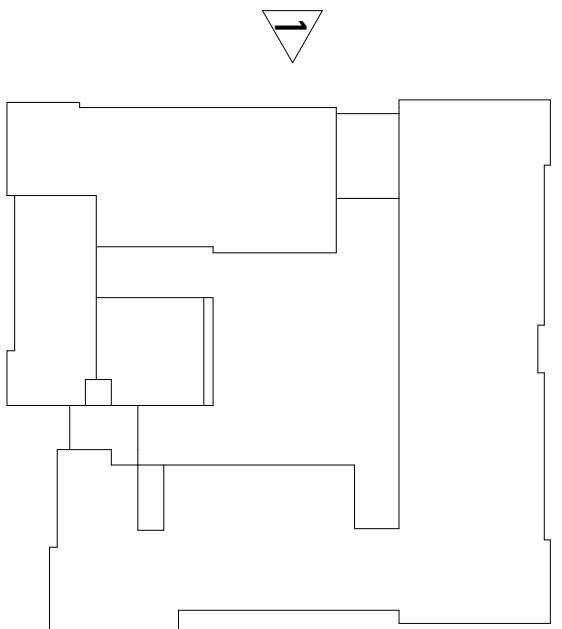
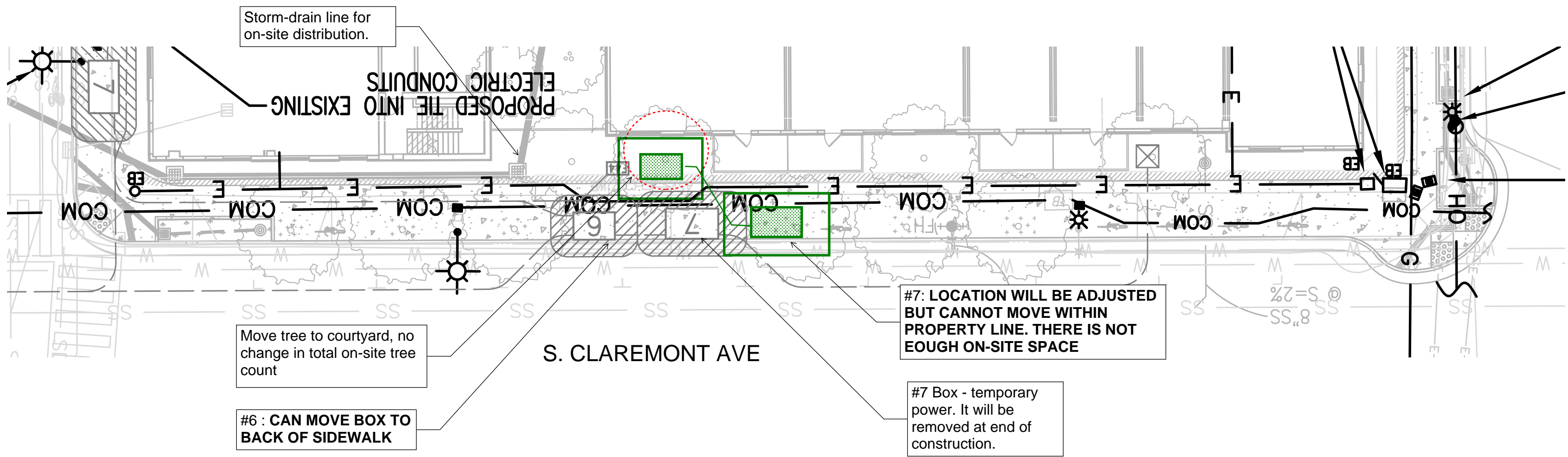
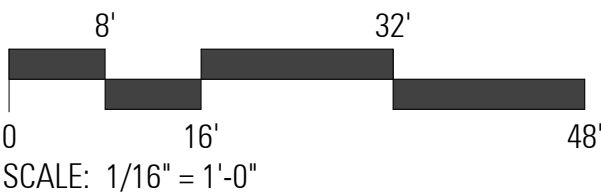



EXHIBIT  
4.13.21  
PROPOSED DRY  
UTILITY REVISIONS  
page 2 of 2





PROJECT SUMMARY		VICINITY MAP		SHEET INDEX	
<div><div><div>PROJECT ADDRESS:</div><div>ASSESSOR'S PARCEL NO.:</div><div>ZONING:</div><div>LOT AREA:</div><div>CONSTRUCTION TYPE:</div><div>PROJECT DESCRIPTION:</div></div><div><div>480 EAST 4TH AVE &amp; 400 EAST 5TH AVE, SAN MATEO, CA</div><div>034-183-060 &amp; 033-281-140</div><div>CENTRAL BUSINESS DISTRICT (CBD) - SUPPORT DISTRICT</div><div>50,587 SQ FT (4TH AVE) &amp; 54,471 SQFT(5TH AVE)</div><div>TYPE IIIA OVER TYPE IA (4TH AVE) &amp; TYPE IA (5TH AVE)</div><div>THE CURRENT CITY-OWNED REDEVELOPMENT SITES CONSISTS OF TWO PARCELS WITH A TOTAL OF 235 SURFACE PARKING STALLS. THE PROJECT IS TO REDEVELOP THE SITES INTO AFFORDABLE HOUSING CONSISTING OF 225 UNITS (234,350 NET SF) AND AN ABOVE-GROUND PARKING GARAGE WITH A MINIMUM OF 164 PRIVATE RESIDENTIAL PARKING STALLS AND A MINIMUM OF 532 PUBLIC PARKING STALLS. THE TOTAL NUMBER OF PARKING SPACES IS 696 STALLS ( NOT EXPECTED TO EXCEED 715) THE PROJECT ALSO INCLUDES LONG-TERM BICYCLE STORAGE FOR 288 BIKES.</div></div></div> <div><div><div>HOUSING BLOCK (4TH AVE)</div><div>OCCUPANCY:</div></div><div>R-2</div></div> <div><div><div>PARKING BLOCK (5TH AVE)</div><div>OCCUPANCY:</div></div><div>S-2</div></div> <div><div>STORIES / HEIGHT ALLOWED:</div><div>55'-0" (4TH AVE) / 55'-0" (5TH AVE)</div></div> <div><div>STORIES / HEIGHT PROPOSED:</div><div>74'-5" (4TH AVE) / 46'-0" (5TH AVE)</div></div> <div><div>BUILDING DENSITY ALLOWED:</div><div>50 DU/ACRE AS PERMITTED IN THE CBD-S (NO DENSITY LIMITATIONS AS PROVIDED BY AB 1763)</div></div> <div><div>BUILDING DENSITY PROPOSED:</div><div>225 / 2.41 ACRE = 93.36 DU/ACRE (4TH AVE PARCEL + 5TH AVE PARCEL)</div></div> <div><div><div>FAR ALLOWED:</div><div>FAR PROPOSED:</div></div><div><div>3.00</div><div>4.24</div></div></div> <div><div><div>4TH AVE FAR:</div><div>5TH AVE FAR:</div></div><div><div>234,350 SQ FT / 50,587 SQ FT = 4.63</div><div>210,509 SQ FT / 54,471 SQ FT = 3.86</div></div><div>(*5TH AVE FAR - EXCLUDES UNCOVERED PARKING AND RAILROAD EASEMENT)</div></div> <div><div>TOTAL PLOT</div><div>(234,351 SQ FT + 210,509 SQ FT) / (50,587 SQ FT + 54,471 SQ FT) = 444,859 SQ FT / 105,058 SQ FT = 4.24</div></div> <div><div>EXISTING STRUCTURES:</div><div>LOCATED ON PARCEL: 033-281-140</div><div>EXISTING STRUCTURES: 2,800 SQ FT</div></div> <div><div>LIST OF ALL HERITAGE TREES ON SITE INCLUDING SPECIES AND SIZE: REFERENCE ARBORIST REPORT AND SHEET L402-404</div></div>		 <div>PROJECT SITE</div>		<div><div>00 - GENERAL</div><div>G000 COVER SHEET</div><div>G001 PROJECT INFORMATION</div><div>G002 PROJECT DATA</div><div>G003 BUILDING CODE DIAGRAM - BUILDING AREA</div><div>G004 LEVEL 01 - ACCESS PLAN</div><div>G005 BUILDING CODE DIAGRAMS</div><div>G006 BUILDING CODE DIAGRAMS - HOUSING EGRESS</div><div>G007 BUILDING CODE DIAGRAMS - HOUSING EGRESS</div><div>G008 BUILDING CODE DIAGRAMS - GARAGE EGRESS</div></div> <div><div>01 - CIVIL</div><div>C1.0 EXISTING CONDITIONS</div><div>C2.0 PRELIMINARY SITE PLAN</div><div>C2.1 PRELIMINARY SITE PLAN</div><div>C3.0 PRELIMINARY GRADING PLAN</div><div>C4.0 PRELIMINARY UTILITY PLAN</div><div>C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN</div></div> <div><div>02 - LANDSCAPE</div><div>L100 LANDSCAPE PLAN - SITE PLAN</div><div>L101 LANDSCAPE PLAN - HOUSING BLOCK</div><div>L102 LANDSCAPE PLAN - PARKING GARAGE</div><div>L103 LANDSCAPE PLAN - 7TH FLOOR</div><div>L104 LANDSCAPE STREETScape SECTIONS</div><div>L200 LANDSCAPE MATERIALS SCHEDULE AND PLAN (HOUSING)</div><div>L201 LANDSCAPE MATERIALS PLAN ( PARKING GARAGE)</div><div>L202 LANDSCAPE MATERIALS PLAN (7TH FLOOR)</div><div>L203 LANDSCAPE MATERIALS AND FURNISHING</div><div>L300 LANDSCAPE PLANTING SCHEDULE</div><div>L301 LANDSCAPE PLANT PALETTE</div><div>L400 TREE REMOVAL AND PROTECTION PLAN - HOUSING BLOCK</div><div>L401 TREE REMOVAL AND PROTECTION PLAN - PARKING GARAGE</div><div>L402 ARBORIST REPORT BY SBCA TREE CONSULTING</div><div>L403 ARBORIST REPORT APPENDIX BY SBCA TREE CONSULTING</div><div>L404 TREE EVALUATION SCHEDULE &amp; REQUIRED TREE PLANTING FORM</div></div> <div><div>04 - ARCHITECTURAL</div><div>A102 SITE PLAN - OVERALL</div><div>A103 SITE SECTION</div><div>A104 SHADOW STUDY</div><div>A110 SITE PHOTOS</div><div>A201 SITE &amp; FLOOR PLAN - LEVEL 01 - HOUSING BLOCK</div><div>A202 FLOOR PLAN - LEVEL 02 - HOUSING BLOCK</div></div> <div><div>A203 FLOOR PLAN - LEVEL 03 - HOUSING BLOCK</div><div>A204 FLOOR PLAN - LEVEL 04 - HOUSING BLOCK</div><div>A205 FLOOR PLAN - LEVEL 05 - HOUSING BLOCK</div><div>A206 FLOOR PLAN - LEVEL 06 - HOUSING BLOCK</div><div>A207 FLOOR PLAN - LEVEL 07 - HOUSING BLOCK</div><div>A208 ROOF PLAN - HOUSING BLOCK</div><div>A211 SITE &amp; FLOOR PLAN - LEVEL 01 - PARKING LOT</div><div>A212 FLOOR PLAN - LEVEL 02 - PARKING LOT</div><div>A213 FLOOR PLAN - LEVEL 03 - PARKING LOT</div><div>A214 FLOOR PLAN - LEVEL 04 - PARKING LOT</div><div>A215 FLOOR PLAN - LEVEL 05 - PARKING LOT</div><div>A216 ROOF PLAN - PARKING LOT</div><div>A301 EXTERIOR ELEVATIONS - HOUSING BLOCK</div><div>A302 EXTERIOR ELEVATIONS - HOUSING BLOCK</div><div>A311 EXTERIOR ELEVATIONS - GARAGE</div><div>A312 EXTERIOR ELEVATIONS - GARAGE</div><div>A321 BUILDING SECTIONS - HOUSING BLOCK</div><div>A322 BUILDING SECTIONS - HOUSING BLOCK</div><div>A323 BUILDING SECTIONS - GARAGE</div><div>A331 PRECEDENT IMAGERY</div><div>A332 PEDESTRIAL BRIDGE DESIGN</div><div>A333 SOLAR PANEL AT GARAGE IMAGERY</div><div>A334 MATERIAL BOARD</div><div>A401 PERSPECTIVE - E 4TH AVE &amp; S RAILROAD AVE</div><div>A402 PERSPECTIVE - E AVE ENTRY</div><div>A403 PERSPECTIVE - E AVE ENTRY COLOR PALETTE</div><div>A404 PERSPECTIVE - S CLAREMONT ST SIDEWALK</div><div>A405 PERSPECTIVE - S CLAREMONT ST &amp; E 4TH AVE</div><div>A406 PERSPECTIVE - E 5TH AVE &amp; S RAILROAD AVE</div><div>A407 PERSPECTIVE - HOUSING AT S RAILROAD AVE</div><div>A408 PERSPECTIVE - HOUSING AT S RAILROAD AVE</div><div>A409 PERSPECTIVE - GARAGE AT S RAILROAD AVE</div><div>A410 GARAGE NORTH WALL</div><div>A411 GARAGE NORTH WALL</div><div>A501 ENLARGED UNIT PLANS</div><div>A511 OPEN SPACE DIAGRAM</div><div>G512 GROSS AREA PLAN - HOUSING</div><div>G513 GROSS AREA PLAN - GARAGE</div><div>TOTAL: 75</div></div>	
BUILDING SETBACKS		APPLICABLE CODES & REGULATIONS		PROJECT MILESTONES	
<div><div><div>BUILDING SETBACKS - HOUSING BLOCK</div><div><div>NORTH (S CLAREMONT ST)</div><div>2'-9" (CLOSEST) / 6'-9" (FARTHEST)</div></div><div><div>EAST (E 5TH AVE)</div><div>4'-0" (CLOSEST) / 7'-0" (FARTHEST)</div></div><div><div>SOUTH (S RAILROAD AVE)</div><div>1'-8" (CLOSEST) / 6'-3" (FARTHEST)</div></div><div><div>WEST (E 4TH AVE)</div><div>3'-0" (CLOSEST) / 21'-0" (FARTHEST/PLAZA)</div></div></div><div><div><div>BUILDING SETBACKS - PARKING BLOCK</div><div><div>NORTH (S CLAREMONT ST)</div><div>0'-9"</div></div><div><div>EAST</div><div>10'-6"</div></div><div><div>SOUTH (S RAILROAD AVE)</div><div>12'-6"</div></div><div><div>WEST (E 5TH AVE)</div><div>1'-6"</div></div></div></div></div>		<div><div>1. CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION:</div><div><div><div>• PART 2, "2019 CALIFORNIA BUILDING CODE" (CBC)</div><div>• PART 3, "2019 CALIFORNIA ELECTRICAL CODE" (CEC)</div><div>• PART 4, "2019 CALIFORNIA MECHANICAL CODE" (CMC)</div><div>• PART 5, "2019 CALIFORNIA PLUMBING CODE" (CPC)</div><div>• PART 6, "2019 CALIFORNIA ENERGY CODE"</div><div>• PART 9, "2019 CALIFORNIA FIRE CODE" (CFC)</div><div>• PART 11, "2019 CALIFORNIA GREEN BUILDING STANDARDS CODE"</div></div><div>ALONG WITH ANY OTHER APPLICABLE CALIFORNIA STATE LAWS AND REGULATIONS OR WITH ANY OTHER APPLICABLE LOCAL MORE RESTRICTIVE PROVISIONS AND ADOPTED ORDINANCES THAT APPLY TO THE CONSTRUCTION OF BUILDINGS.</div></div><div><div>2. CITY OF SAN MATEO MUNICIPAL CODE</div></div></div>		<div><div>ENTITLEMENT APPLICATION - 5 STORY HOUSING BLOCK</div><div>07/10/2019</div></div> <div><div>ENTITLEMENT RESUBMITTAL #1</div><div>09/10/2019</div></div> <div><div>ENTITLEMENT RESUBMITTAL #1 - RESPONSE TO DESIGN REVIEW COMMENTS</div><div>09/27/2019</div></div> <div><div>ENTITLEMENT RESUBMITTAL #2</div><div>11/08/2019</div></div> <div><div>ENTITLEMENT APPLICATION - 7 STORY HOUSING BLOCK</div><div>03/04/2020</div></div> <div><div>ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK</div><div>04/06/2020</div></div> <div><div>ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK</div><div>06/01/2020</div></div> <div><div>ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK</div><div>06/15/2020</div></div>	

AS APPROVED

c:\0 REV\San Mateo Downtown - A\_Ashliam\BEG05.rvt

6/15/2020 9:21:00 AM



PROJECT SUMMARY

PROJECT ADDRESS:

ASSESSOR'S PARCEL NO.:

ZONING:

LOT AREA:

CONSTRUCTION TYPE:

PROJECT DESCRIPTION:

480 EAST 4TH AVE & 400 EAST 5TH AVE, SAN MATEO, CA

034-183-060 & 033-281-140

CENTRAL BUSINESS DISTRICT (CBD) - SUPPORT DISTRICT

50,587 SQ FT (4TH AVE) & 54,471 SQFT(5TH AVE)

TYPE IIIA OVER TYPE IA (4TH AVE) & TYPE IA (5TH AVE)

THE CURRENT CITY-OWNED REDEVELOPMENT SITES CONSISTS OF TWO PARCELS WITH A TOTAL OF 235 SURFACE PARKING STALLS. THE PROJECT IS TO REDEVELOP THE SITES INTO AFFORDABLE HOUSING CONSISTING OF 225 UNITS (211,970 NET SF) AND AN ABOVE-GROUND PARKING GARAGE WITH A MINIMUM OF 164 PRIVATE RESIDENTIAL PARKING STALLS AND A MINIMUM OF 532 PUBLIC PARKING STALLS. THE TOTAL NUMBER OF PARKING SPACES IS 696 STALLS ( NOT EXPECTED TO EXCEED 715) THE PROJECT ALSO INCLUDES LONG-TERM BICYCLE STORAGE FOR 288 BIKES.

GRAYED OUT INFORMATION INCLUDED IN GARAGE SPAR MODIFICATION

HOUSING BLOCK (4TH AVE)

OCCUPANCY:

R-2

PARKING BLOCK (5TH AVE)

OCCUPANCY:

S-2

STORIES / HEIGHT ALLOWED:

55'-0" (4TH AVE) / 55'-0" (5TH AVE)

STORIES / HEIGHT PROPOSED:

74'-5" (4TH AVE) / 46'-0" (5TH AVE)

BUILDING DENSITY ALLOWED:

50 DU/ACRE AS PERMITTED IN THE CBD-S (NO DENSITY LIMITATIONS AS PROVIDED BY AB 1763)

BUILDING DENSITY PROPOSED:

225 / 2.41 ACRE = 93.36 DU/ACRE (4TH AVE PARCEL + 5TH AVE PARCEL)

FAR ALLOWED:

3.00

FAR PROPOSED:

3.93

4TH AVE FAR:

211,970 SQ FT / 50,587 SQ FT = 4.20

5TH AVE FAR:

201,431 FT / 54,471 SQ FT = 3.70

(\*5TH AVE FAR - EXCLUDES UNCOVERED PARKING AND RAILROAD EASEMENT)

TOTAL PLOT

(211,970 SQ FT + 201,431 SQ FT) / (50,587 SQ FT + 54,471 SQ FT) =

413,401 SQ FT / 105,058 SQ FT = 3.93

EXISTING STRUCTURES:

LOCATED ON PARCEL: 033-281-140

EXISTING STRUCTURES: 2,800 SQ FT

LIST OF ALL HERITAGE TREES ON SITE INCLUDING SPECIES AND SIZE: REFERENCE ARBORIST REPORT AND SHEET L402-404

VICINITY MAP



APPLICABLE CODES & REGULATIONS

1. CALIFORNIA CODE OF REGULATIONS, TITLE 24, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION:
- PART 2, "2019 CALIFORNIA BUILDING CODE" (CBC)

• PART 3, "2019 CALIFORNIA ELECTRICAL CODE" (CEC)

• PART 4, "2019 CALIFORNIA MECHANICAL CODE" (CMC)

• PART 5, "2019 CALIFORNIA PLUMBING CODE" (CPC)

• PART 6, "2019 CALIFORNIA ENERGY CODE"

• PART 9, "2019 CALIFORNIA FIRE CODE" (CFC)

• PART 11, "2019 CALIFORNIA GREEN BUILDING STANDARDS CODE"
- ALONG WITH ANY OTHER APPLICABLE CALIFORNIA STATE LAWS AND REGULATIONS OR WITH ANY OTHER APPLICABLE LOCAL MORE RESTRICTIVE PROVISIONS AND ADOPTED ORDINANCES THAT APPLY TO THE CONSTRUCTION OF BUILDINGS.
2. CITY OF SAN MATEO MUNICIPAL CODE

SHEET INDEX

BUILDING SETBACKS

BUILDING SETBACKS - HOUSING BLOCK

NORTH (S CLAREMONT ST)

2'-11" (CLOSEST) / 8'-0" (FARTHEST)

EAST (E 5TH AVE)

6'-5" (CLOSEST) / 9'-9" (FARTHEST)

SOUTH (S RAILROAD AVE)

5'-8 1/2" (CLOSEST) / 9'-0" (FARTHEST)

WEST (E 4TH AVE)

6'-2" (CLOSEST) / 24'-3" (FARTHEST/PLAZA)

BUILDING SETBACKS - PARKING BLOCK

NORTH (S CLAREMONT ST)

0'-9"

EAST

10'-6"

SOUTH (S RAILROAD AVE)

12'-6"

WEST (E 5TH AVE)

1'-6"

PROJECT MILESTONES

03/04/20

ENTITLEMENT APPLICATION - 7 STORY HOUSING BLOCK

04/06/20

ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

06/01/20

ENTITLEMENT SUBMITTAL - 7 STORY HOUSING BLOCK

06/15/20

ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

03/01/21

ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

03/30/21

ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

04/26/21

ENTITLEMENT RESUBMITTAL - 7 STORY HOUSING BLOCK

AS CURRENTLY PROPOSED



PARKING TABULATION

ON-SITE STALL DISTRIBUTION					
NON-RESIDENTIAL PARKING STALLS					Total
Level	Standard	Compact	Accessible	EV Ready* (15%)	
	8'-6" x 18' MIN.	8'-6" x 17' MIN.	9' x 18' MIN.	9" x 18' MIN.	
5	0	0	0	0	0
4	4	73	3	24	104
3	30	98	3	24	155
2	31	98	3	23	155
1	16	88	4	10	118
Total	81	357	13	81	532

\* EV count includes EV Accessible, EV Van Spaces, and EV Amblutory spaces

\*\* Parallel spaces are included in level 01 'Standard' stall tabulation

NON-RESIDENTIAL ACCESSIBLE PARKING CALCULATION*			
PARKING STALLS			Accessible Total
	Stall count	Percent	
Non-Residential Parking at 2% of stalls	451	2%	9
Minimum number of Van Stalls (1 in ever 6)			3
Minimum number of Standard Stalls			6
Total Non-Residential Accessible Parking Required			9
Total Accessible Parking Provided			13

\* Accessible stalls included in "required" and "provided" parking calculations

\*\*Count includes Van Accessible Spaces per CBC 11B-208.2.4

NON-RESIDENTIAL ELECTRIC VEHICLE (EV) PARKING CALCULATIONS*				
PARKING STALLS				EV Total
	Stall count	Percent		
Non-Residential Future EVSE**	532	10%		54
Non-Residential equipped with level 2 EVSE***	532	5%		27
Total Non-Residential EV Compliant Parking Required				81
Total Non-Residential EV Compliant Parking Provided				81

NON-RESIDENTIAL ACCESSIBLE (EV) PARKING CALCULATIONS*				
PARKING STALLS				EV Total
	Stall count	Percent		
Non-Residential Van Accessible EVCS**	81	1%		1
Non-Residential Standard Accessible EVCS***	81	3%		3
Non-Residential Amblutory EVCS	81	3%		3
Total Non-Residential EV Compliant Parking Required				7
Total Non-Residential EV Compliant Parking Provided				7

\* EV and Clean Air stalls included in "required" and "provided" parking calculations

\*\* Per San Mateo REACH code 15% Residential spaces to be EV capable and 15% Non Residential

spaces to be EV capable with 5% EVSE installed.

\*\*\* Per CAL Green Non-Residential Mandatory Measures - EV stalls to be provided for non-residential

uses per table 5.106.5.3.3 (10-25 stalls : 1 EV stalls)

\*\*\*\* Commercial Clean Air Vehicle requirements per Cal Green Non-Residential Mandatory Measures

ON-SITE STALL DISTRIBUTION					
RESIDENTIAL PARKING STALLS					Total
Level	Standard	Compact	Accessible	EV Ready* (15%)	
	8'-6" x 18' MIN.	8'-6" x 17' MIN.	9' x 18' MIN.	9" x 18' MIN.	
5	9	79	4	25	117
4	24	23	0	0	47
3	0	0	0	0	0
2	0	0	0	0	0
1	0	0	0	0	0
Total	33	102	4	25	164

\* EV Accessible Van Spaces included in count

\*\*See Residential Accessible parking calulation of division of Accessible parking stalls

RESIDENTIAL ACCESSIBLE PARKING CALCULATION*			
PARKING STALLS			Accessible Total
	Stall count	Percent	
Residential Parking at 2% of stalls	164	2%	4
Minimum number of Van Accessible stalls (1 in every *)			1
Minimum number of Standard Accessible Stalls			3
Total Assigned Residential Accessible Parking Required			4
Total Assigned Residential Accessible Parking Provided			4

\*Residential secured stalls are secured from others per SMMC Section 23.54.030

RESIDENTIAL ELECTRIC VEHICLE (EV) PARKING CALCULATIONS*				
PARKING STALLS				EV Total
	Stall count	Percent		
Residential Future EVCS	164	15%		25
Minimum Van EVCS	25	4%		1
Minimum Standard EVCS				24
Total Residential EV Compliant Parking Required				25
Total Residential EV Compliant Parking Provided				25

BICYCLE PARKING CALCULATIONS*					
BIKE PARKING*					Bike Total
TYPE	STUDIO	1 BR	2 BR	3 BR	
Short term bike parking	0.05 3.25	0.05 2.40	0.10 5.30	0.15 8.85	19.80
Long term bike parking	1.00 65.00	1.00 48.00	1.25 66.25	1.50 88.50	267.75
Total Bike Parking Required					288
Total Bike Parking Provided					288

\* Long term bike parking is secured Class I spaces

\* Bike parking calculated per San Mateo municipal code, 27.64.262

(Multiplier)

BUILDING AREA TABULATIONS

06/11/2020

Level	Residential	Residential	Residential	Residential	Residential
	Residential GSF*	Amenity GSF**	Exempt GSF***	Total Gross Area	Total Net Area
				Residential GSF + Amenity GSF + Exempt...	Total Gross minus Exempt
7	28,294.8	4,187.7	1,931.3	34,413.8	32,482.5
6	34,006.3	476.1	709.4	35,191.8	34,482.4
5	34,053.3	476.1	709.4	35,238.8	34,529.4
4	34,053.3	476.1	709.4	35,238.8	34,529.4
3	34,053.3	476.1	709.4	35,238.8	34,529.4
2	32,368.4	476.1	1,036.0	33,880.5	32,844.5
1	24,991.2	5,961.5	2,686.7	33,639.4	30,952.7
Total	221,820.6	12,529.7	8,491.6	242,842	234,350

NOTES:

See Sheet G512 for breakdown of areas

\* Residential Floor Area GSF includes Exempt GSF -Residential GSF includes units, corridors, utility rooms, mechanical rooms, etc.

\*\* Residential Amenity GSF includes entry lobby, leasing offices, community room, fitness room, laundry room, maintenance offices, etc

\*\*\* Residential Exempted Area GSF excludes areas per the City of San Mateo Municipal Code Section 27.94.200

Exemptions include - Bicycle facilities, exterior walkways, and elevator shafts and stairwells on all levels above ground level

GARAGE AREA TABULATIONS

06/11/2020

Level	Garage		Garage	Garage	Garage
	Garage GSF*		Exempt GSF***	Total Gross Area	Total Net Area
				Garage GSF + Exempt GSF	Total Gross minus Exempt
5	21,550.5		26,142.5	47,693.0	21,550.5
4	47,088.5		604.5	47,693.0	47,088.5
3	47,088.5		604.5	47,693.0	47,088.5
2	47,088.5		604.5	47,693.0	47,088.5
1	47,693.0		0.0	47,693.0	47,693.0
Total	210,509.0		27,956.0	238,465	210,509

NOTES:

See Sheet G513 for breakdown of areas

\* Garage Total GSF includes all spaces inside garage footprint, such as mechanical/utility spaces, etc

\*\*\* Residential Exempted Area GSF excludes areas per the City of San Mateo Municipal Code Section 27.94.200

Exemptions include - Uncovered parking on Level 05, and elevator shafts and stairwells on all levels above ground level

PRELIMINARY UNIT MIX\* - 7 STORY SCHEME

LEVEL	STUDIO 17'x26' 442 GSF	1 BR 24'x26' typ 624 GSF typ.	2 BR 34'x26' typ. 884 GSF typ.	3 BR 44'x26' 1,144 GSF	UNIT TOTAL
7	9	6	7	8	30
6	9	8	8	9	34
5	9	8	8	9	34
4	11	8	8	9	36
3	11	8	8	9	36
2	10	7	8	9	34
1	6	3	6	6	21
TOT...	65	48	53	59	225
%	29%	21%	24%	26%	100%
AVERAGE UNIT SIZE					184,531 820
Residential GSF**					
Average Unit Size (GSF)					

\* Unit GSF includes exterior, corridor and party walls

\*\* As calculated in the Preliminary Building Area Tabulation

AS APPROVED

DOWNTOWN SAN MATEO OPPORTUNITY SITES
SAN MATEO, CA

06.15.20

17009

BAR architects

MidPen

HOUSING

G002

PROJECT DATA



PARKING TABULATION

GRAYED OUT INFORMATION INCLUDED IN GARAGE SPAR MODIFICATION

ON-SITE STALL DISTRIBUTION					
NON-RESIDENTIAL PARKING STALLS					Total
Level	Standard	Compact	Accessible	EV Ready* (15%)	
	8'-6" x 18' MIN.	8'-6" x 17' MIN.	9' x 18' MIN.	9" x 18' MIN.	
5	0	0	0	0	0
4	4	73	3	24	104
3	30	98	3	24	155
2	31	98	3	23	155
1	16	88	4	10	118
Total	81	357	13	81	532

\* EV count includes EV Accessible, EV Van Spaces, and EV Amblutory spaces

\*\* Parallel spaces are included in level 01 'Standard' stall tabulation

NON-RESIDENTIAL ACCESSIBLE PARKING CALCULATION*			
PARKING STALLS			Accessible Total
	Stall count	Percent	
Non-Residential Parking at 2% of stalls	451	2%	9
Minimum number of Van Stalls (1 in ever 6)			3
Minimum number of Standard Stalls			6
Total Non-Residential Accessible Parking Required			9
Total Accessible Parking Provided			13

\* Accessible stalls included in "required" and "provided" parking calculations

\*\*Count includes Van Accessible Spaces per CBC 11B-208.2.4

NON-RESIDENTIAL ELECTRIC VEHICLE (EV) PARKING CALCULATIONS*			
PARKING STALLS			EV Total
	Stall count	Percent	
Non-Residential Future EVSE**	532	10%	54
Non-Residential equipped with level 2 EVSE***	532	5%	27
Total Non-Residential EV Compliant Parking Required			81
Total Non-Residential EV Compliant Parking Provided			81

NON-RESIDENTIAL ACCESSIBLE (EV) PARKING CALCULATIONS*			
PARKING STALLS			EV Total
	Stall count	Percent	
Non-Residential Van Accessible EVCS**	81	1%	1
Non-Residential Standard Accessible EVCS***	81	3%	3
Non-Residential Amblutory EVCS	81	3%	3
Total Non-Residential EV Compliant Parking Required			7
Total Non-Residential EV Compliant Parking Provided			7

\* EV and Clean Air stalls included in "required" and "provided" parking calculations

\*\* Per San Mateo REACH code 15% Residential spaces to be EV capable and 15% Non Residential spaces to be EV capable with 5% EVSE installed.

\*\*\* Per CAL Green Non-Residential Mandatory Measures - EV stalls to be provided for non-residential uses per table 5.106.5.3.3 (10-25 stalls : 1 EV stalls)

\*\*\*\* Commercial Clean Air Vehicle requirements per Cal Green Non-Residential Mandatory Measures

ON-SITE STALL DISTRIBUTION					
RESIDENTIAL PARKING STALLS					Total
Level	Standard	Compact	Accessible	EV Ready* (15%)	
	8'-6" x 18' MIN.	8'-6" x 17' MIN.	9' x 18' MIN.	9" x 18' MIN.	
5	9	79	4	25	117
4	24	23	0	0	47
3	0	0	0	0	0
2	0	0	0	0	0
1	0	0	0	0	0
Total	33	102	4	25	164

\* EV Accessible Van Spaces included in count

\*\*See Residential Accessible parking calculation of division of Accessible parking stalls

RESIDENTIAL ACCESSIBLE PARKING CALCULATION*			
PARKING STALLS			Accessible Total
	Stall count	Percent	
Residential Parking at 2% of stalls	164	2%	4
Minimum number of Van Accessible stalls (1 in every *)			1
Minimum number of Standard Accessible Stalls			3
Total Assigned Residential Accessible Parking Required			4
Total Assigned Residential Accessible Parking Provided			4

\*Residential secured stalls are secured from others per SMMC Section 23.54.030

RESIDENTIAL ELECTRIC VEHICLE (EV) PARKING CALCULATIONS*			
PARKING STALLS			EV Total
	Stall count	Percent	
Residential Future EVCS	164	15%	25
Minimum Van EVCS	25	4%	1
Minimum Standard EVCS			24
Total Residential EV Compliant Parking Required			25
Total Residential EV Compliant Parking Provided			25

BICYCLE PARKING CALCULATIONS*					
BIKE PARKING*					4/5/2021 Bike Total
TYPE	STUDIO	1 BR	2 BR	3 BR	
Short term bike parking	0.05 3.30	0.05 2.05	0.10 5.90	0.15 8.85	20.10
Long term bike parking	1.00 66.00	1.00 41.00	1.25 73.75	1.50 88.50	269.25
Total Bike Parking Required					290
Total Bike Parking Provided					290

\* Long term bike parking is secured Class I spaces

\* Bike parking calculated per San Mateo municipal code, 27.64.262

BUILDING AREA TABULATIONS

4/5/2021

Level	Residential	Residential	Residential	Residential	Residential
	Residential GSF*	Amenity GSF**	Exempt GSF***	Total Gross Area Residential GSF + Amenity GSF + Exempt GSF	Total Net Area Total Gross minus Exempt
7	26,991.3	2,417.8	626.0	30,035.1	29,409.1
6	30,377.3	293.9	715.4	31,386.6	30,671.2
5	31,086.2	0.0	715.7	31,801.9	31,086.2
4	30,919.8	293.8	716.6	31,930.2	31,213.6
3	30,920.3	293.8	716.0	31,930.1	31,214.1
2	29,304.4	275.3	1,070.0	30,649.7	29,579.7
1	23,300.6	5,495.1	2,327.4	31,123.1	28,795.7
Total	202,899.9	9,069.7	6,887.1	218,857	211,970
TOTAL PERCENTAGE CHANGE FROM 'AS APPROVED'				-9.8%	-9.5%

NOTES:

\* Residential GSF includes units, corridors, utility rooms, mechanical rooms, etc.

\*\* Residential Amenity GSF includes entry lobby, leasing offices, community room, laundry room, maintenance offices, etc

\*\*\* Residential Exempted Area GSF excludes areas per the City of San Mateo Municipal Code Section 27.94.200

Exemptions include - Bicycle facilities, exterior walkways, and elevator shafts and stairwells on all levels above ground level

GSF is taken to the exterior side of exterior walls and the centerline of party walls.

UNIT MIX

4/16/2021

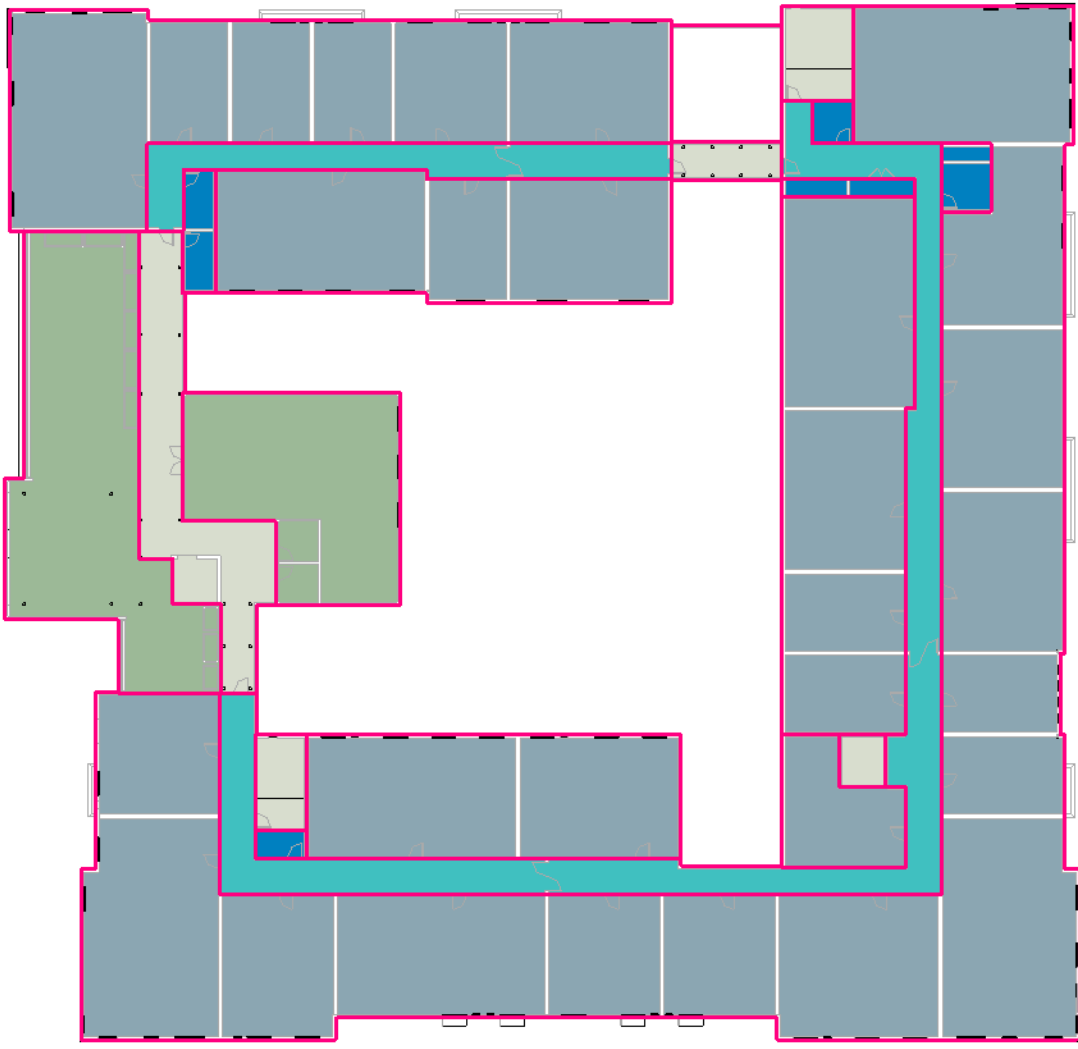
LEVEL	STUDIO 15'-6" x 24'-6" 380 GSF typ.	1 BR 21'-7" x 24'-6" 529 GSF typ.	2 BR 32'-0 x 24'-6" 784 GSF typ.	3 BR 42'-0 x 24'-6" 1,029 GSF typ.	UNIT TOTAL
7	9	6	8	8	31
6	10	6	9	9	34
5	10	6	9	9	34
4	11	7	9	9	36
3	11	7	9	9	36
2	9	6	9	9	33
1	6	3	6	6	21
TOTAL	66	41	59	59	225
%	29%	18%	26%	26%	100%
AVERAGE UNIT SIZE					
Residential GSF ** Average Unit Size (GSF)					153,736 683

\* Unit GSF includes exterior, corridor, and party walls

\*\* As calculated in the Building Area Tabulation

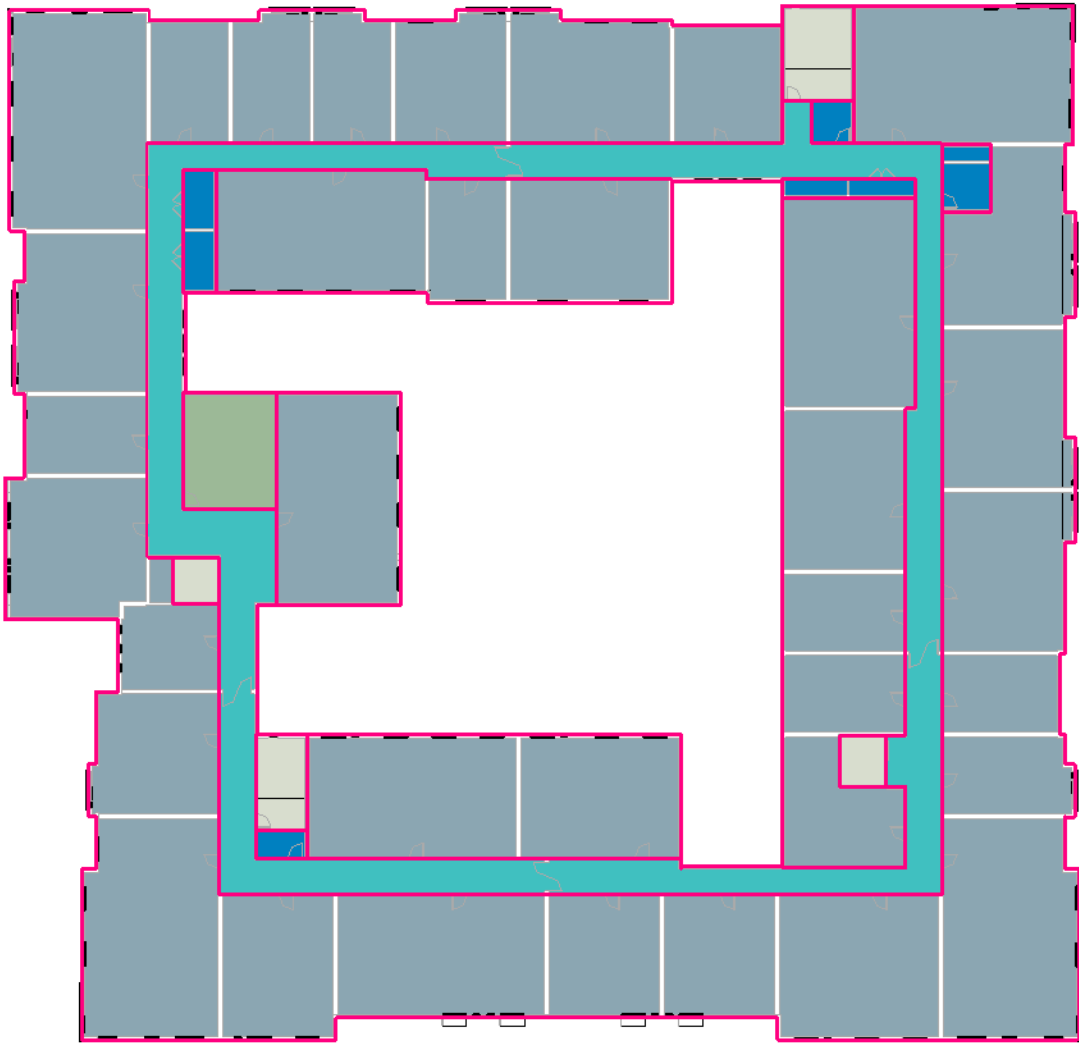
AS CURRENTLY PROPOSED





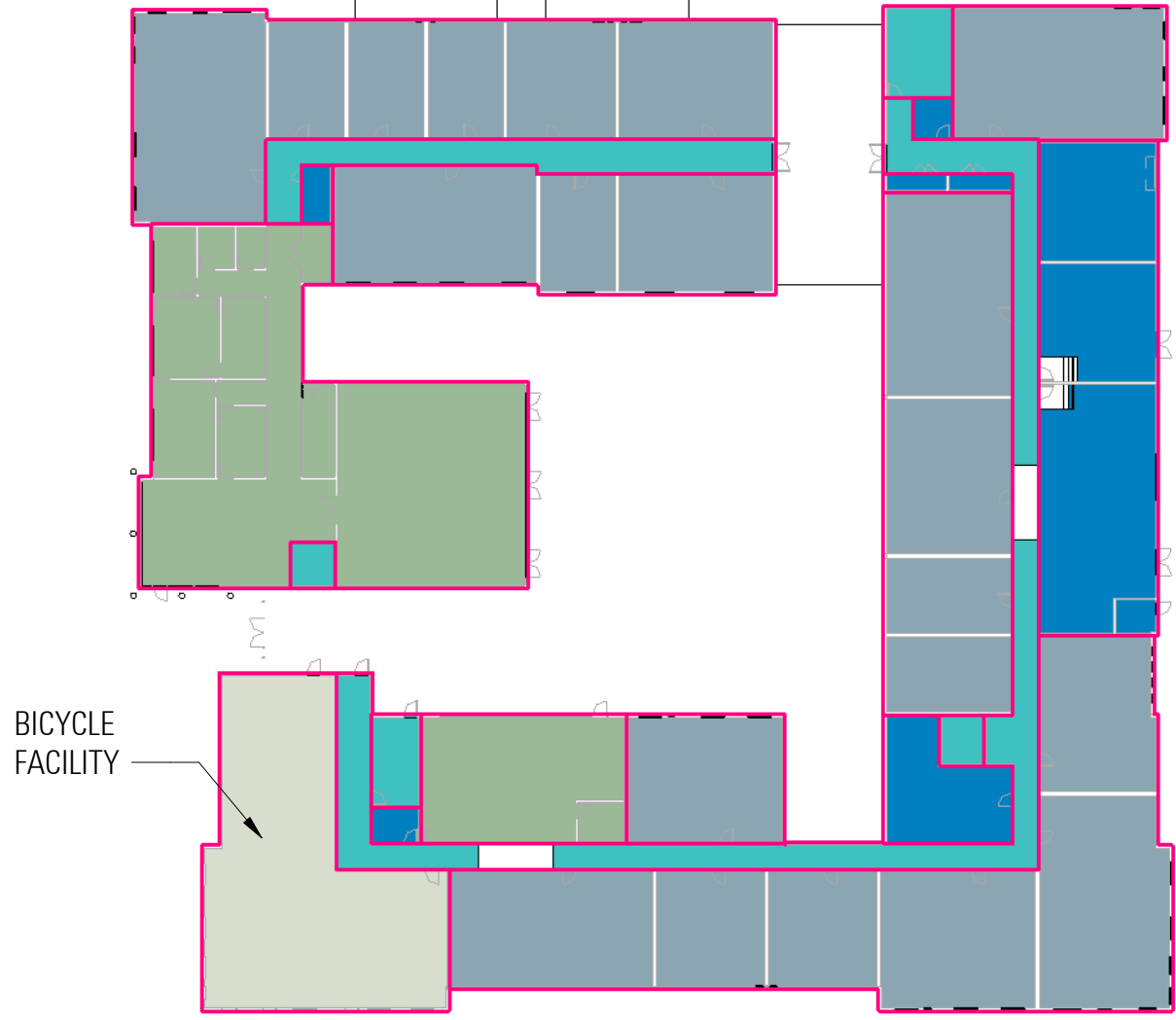
LEVEL 07

1" = 40'-0"



LEVEL 04

1" = 40'-0"

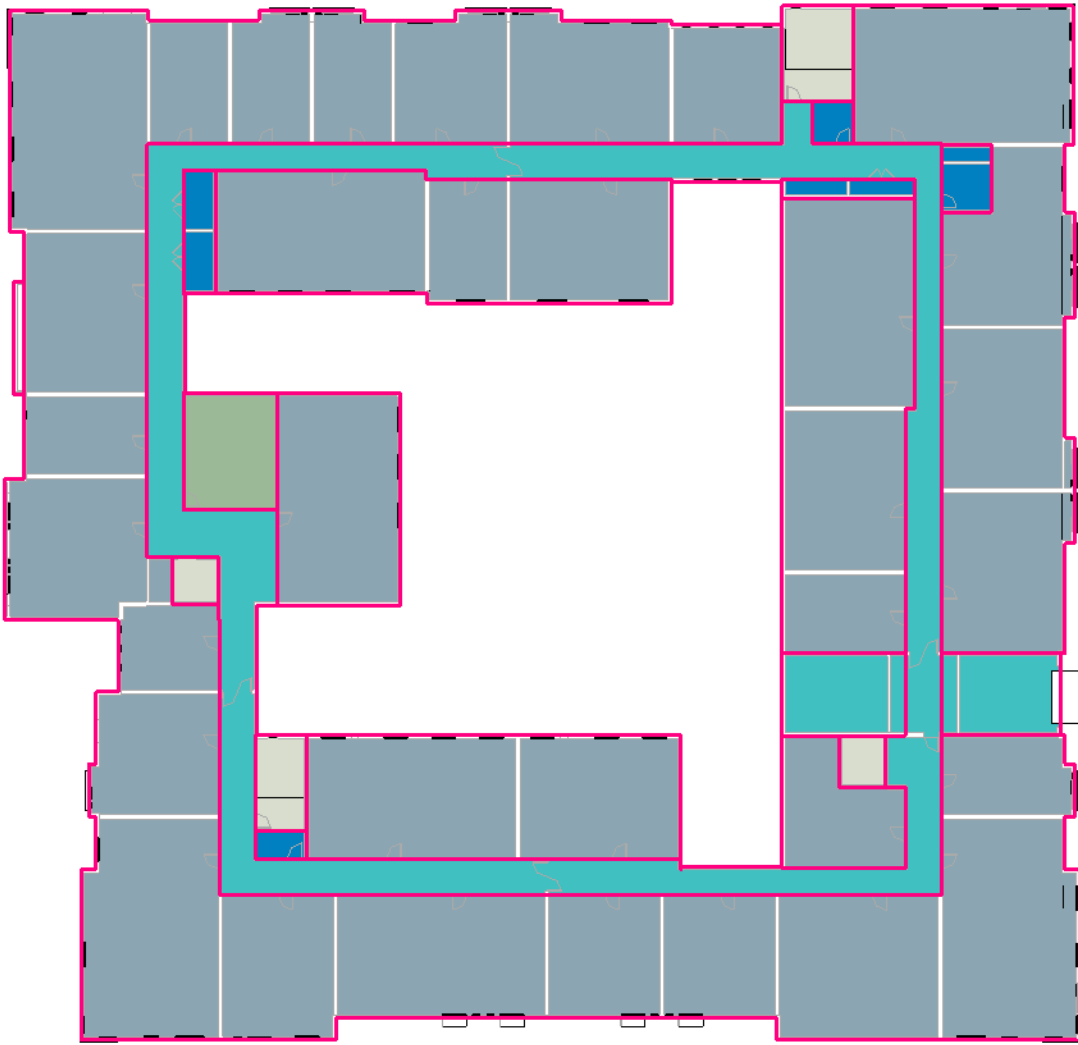


LEVEL 01

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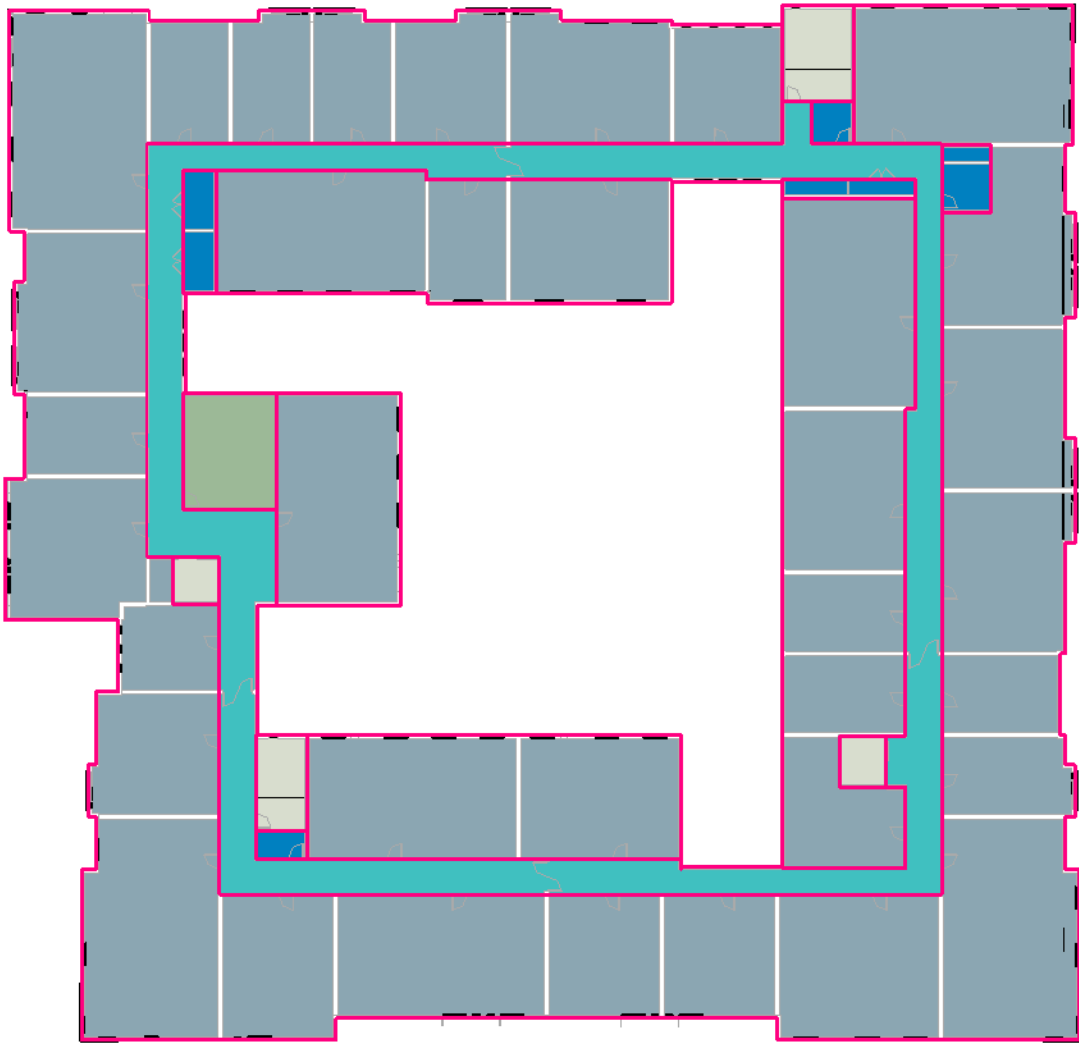
AREA LEGEND

- AMENITY
- CIRC
- EXEMPT
- RESIDENTIAL
- UTILITY



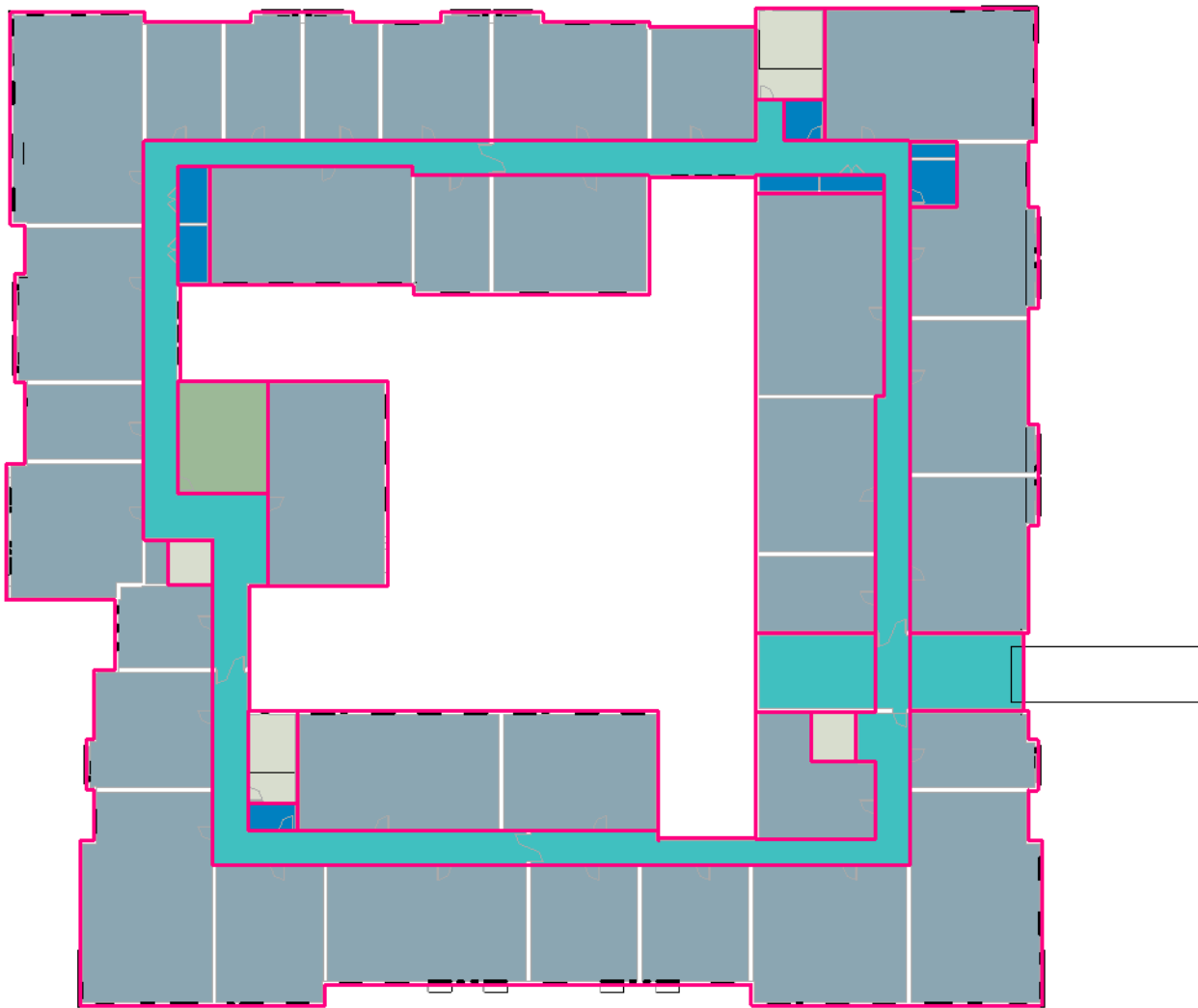
LEVEL 06

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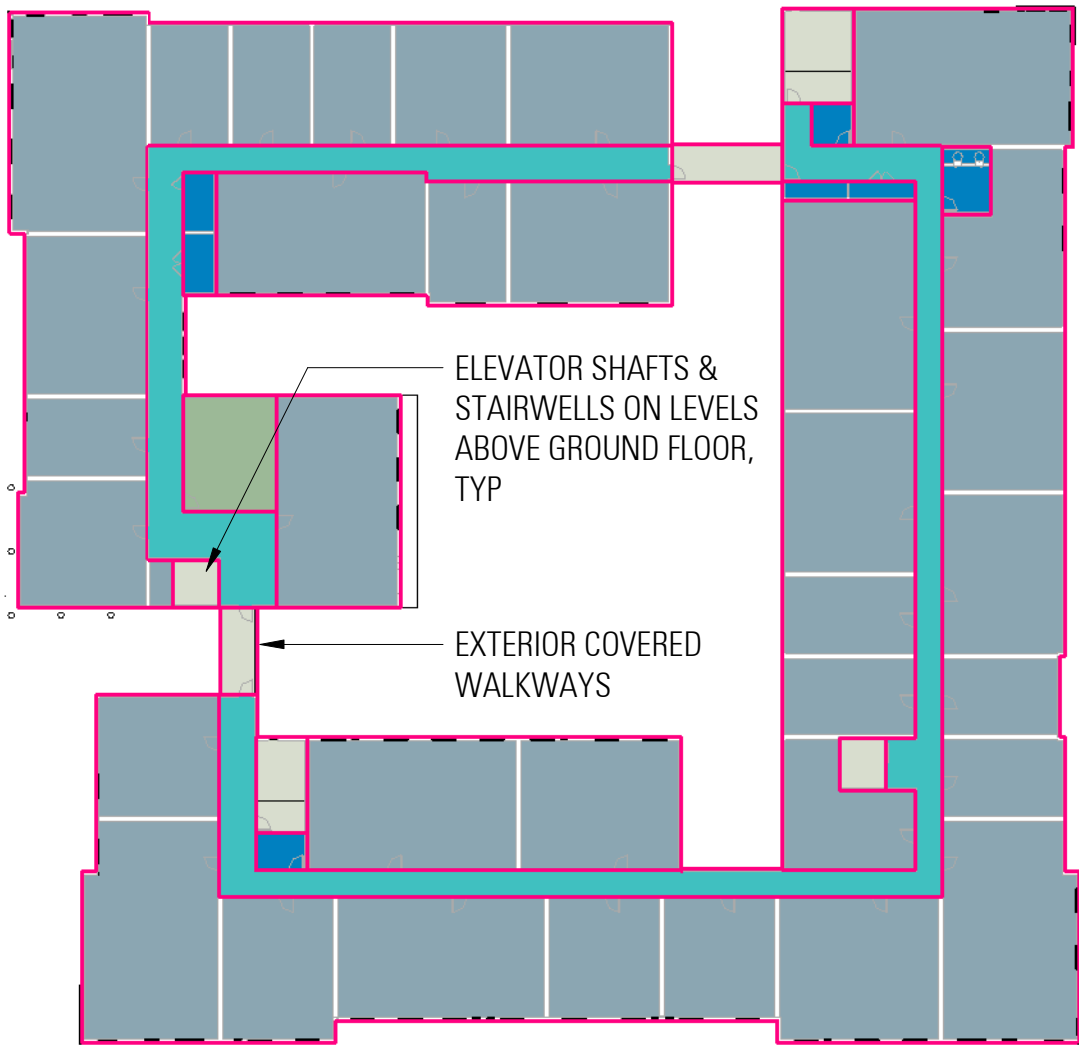
LEVEL 03

1" = 40'-0"



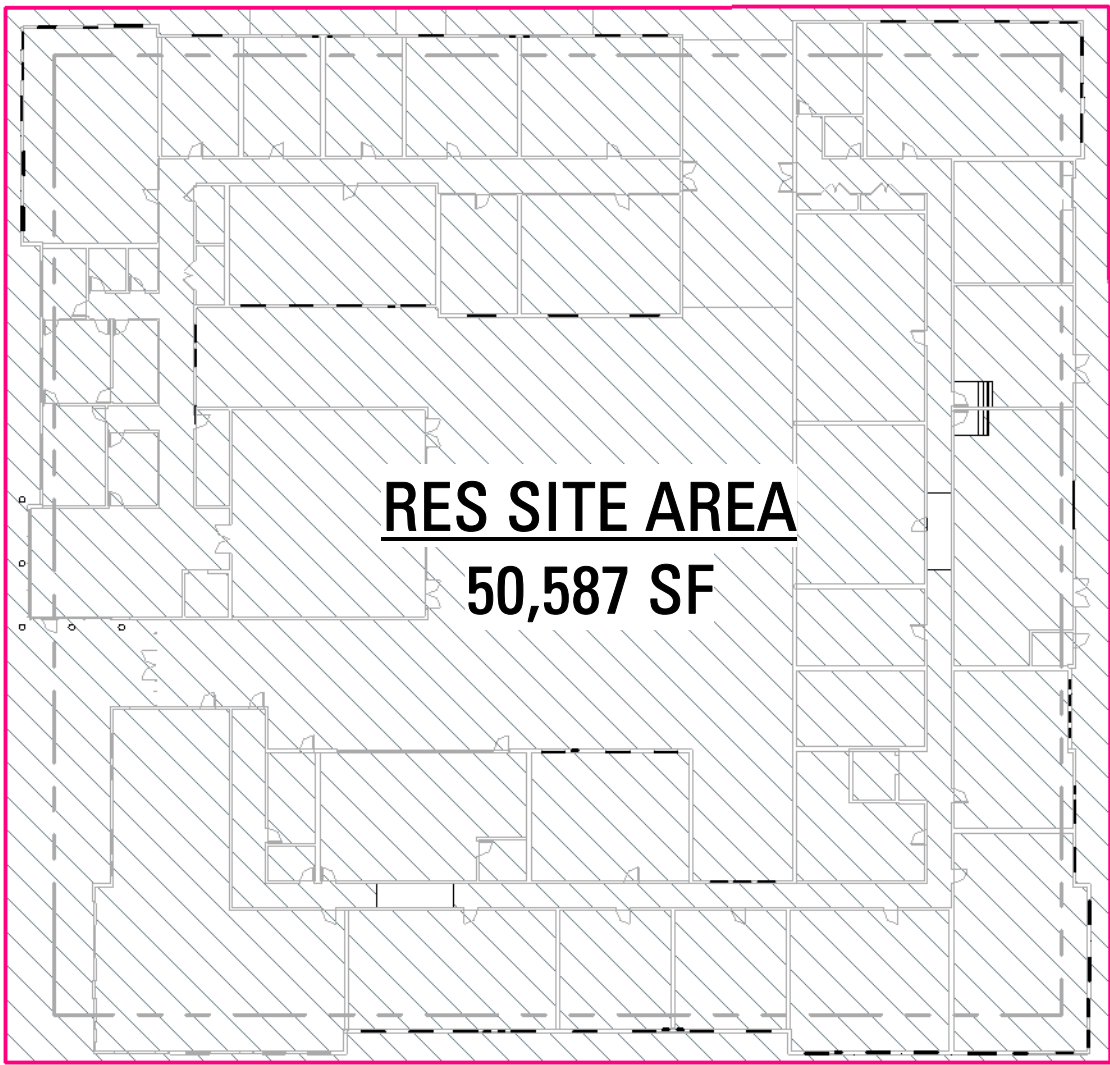
LEVEL 05

1" = 40'-0"



LEVEL 02

1" = 40'-0"



RESIDENTIAL SITE AREA

1" = 40'-0"

AREA SCHEDULE (RENTABLE)			
LEVEL	AREA	NAME	COMMENTS
LEVEL 07	4,187.7 SF	AMENITY	
LEVEL 07	3,418.6 SF	CIRC	
LEVEL 07	1,931.3 SF	EXEMPT	
LEVEL 07	24,307.8 SF	RESIDENTIAL	
LEVEL 07	568.4 SF	UTILITY	
LEVEL 07	34,413.8 SF		

LEVEL 06	476.1 SF	AMENITY	
LEVEL 06	5,442.1 SF	CIRC	
LEVEL 06	709.4 SF	EXEMPT	
LEVEL 06	27,999.8 SF	RESIDENTIAL	
LEVEL 06	564.4 SF	UTILITY	
LEVEL 06	35,191.8 SF		

LEVEL 05	476.1 SF	AMENITY	
LEVEL 05	5,442.1 SF	CIRC	
LEVEL 05	709.4 SF	EXEMPT	
LEVEL 05	28,046.9 SF	RESIDENTIAL	
LEVEL 05	564.4 SF	UTILITY	
LEVEL 05	35,238.8 SF		

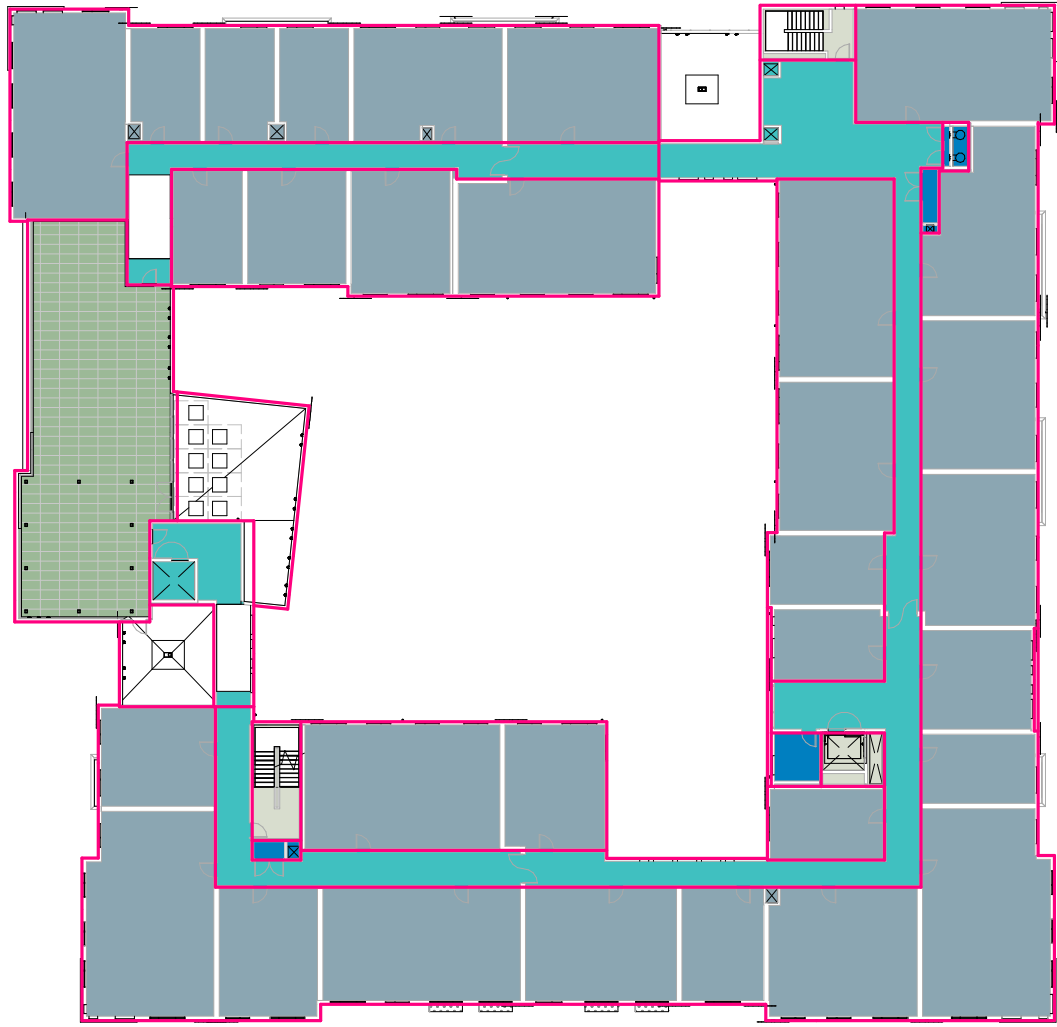
LEVEL 04	476.1 SF	AMENITY	
LEVEL 04	4,578.8 SF	CIRC	
LEVEL 04	709.4 SF	EXEMPT	
LEVEL 04	28,909.6 SF	RESIDENTIAL	
LEVEL 04	564.9 SF	UTILITY	
LEVEL 04	35,238.8 SF		

LEVEL 03	476.1 SF	AMENITY	
LEVEL 03	4,578.8 SF	CIRC	
LEVEL 03	709.4 SF	EXEMPT	
LEVEL 03	28,909.6 SF	RESIDENTIAL	
LEVEL 03	564.9 SF	UTILITY	
LEVEL 03	35,238.8 SF		

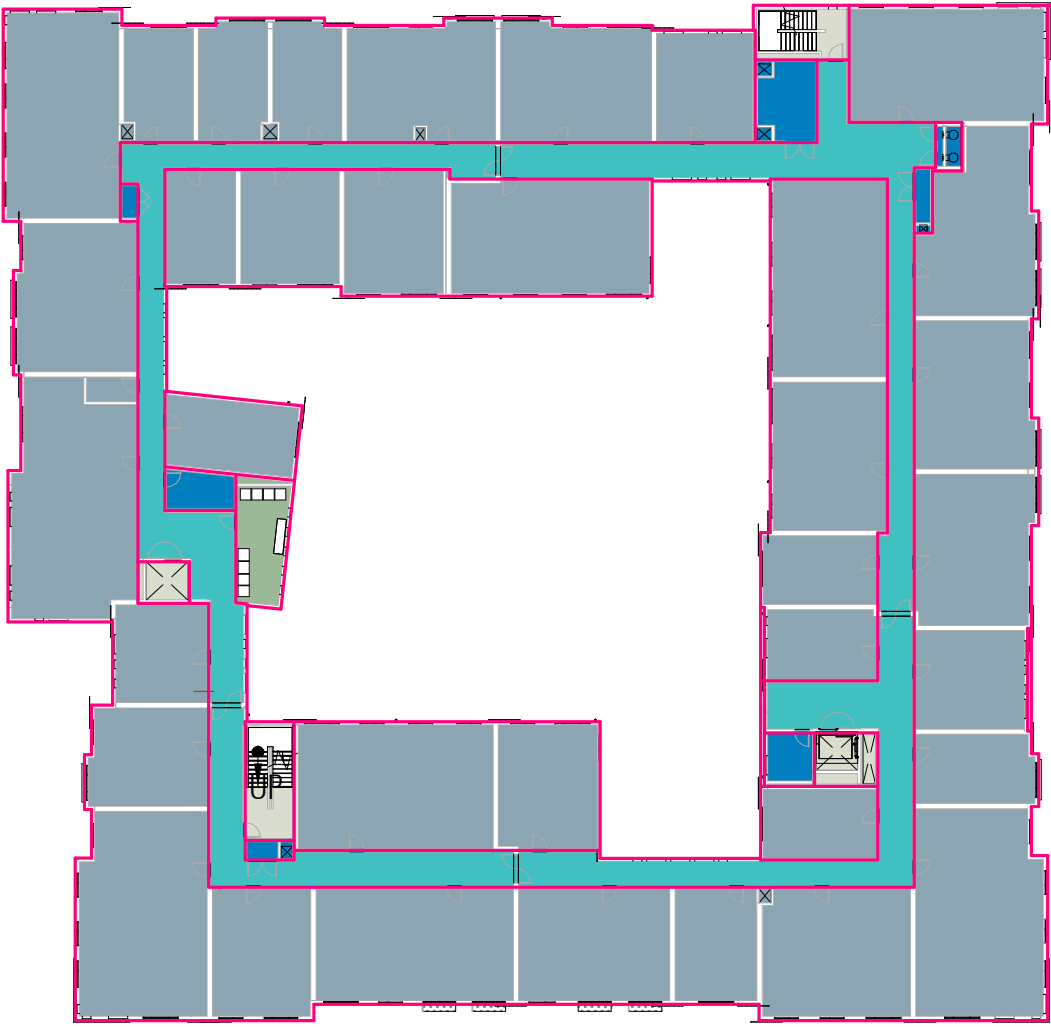
LEVEL 02	476.1 SF	AMENITY	
LEVEL 02	3,907.1 SF	CIRC	
LEVEL 02	1,036.0 SF	EXEMPT	
LEVEL 02	27,874.9 SF	RESIDENTIAL	
LEVEL 02	586.4 SF	UTILITY	
LEVEL 02	33,880.5 SF		

LEVEL 01(121.5' DATUM)	5,961.5 SF	AMENITY	
LEVEL 01(121.5' DATUM)	3,788.5 SF	CIRC	
LEVEL 01(121.5' DATUM)	2,686.7 SF	EXEMPT	
LEVEL 01(121.5' DATUM)	17,525.6 SF	RESIDENTIAL	
LEVEL 01(121.5' DATUM)	3,677.1 SF	UTILITY	
LEVEL 01(121.5' DATUM)	33,639.4 SF		
GROSS TOTAL	242,842.0 SF		

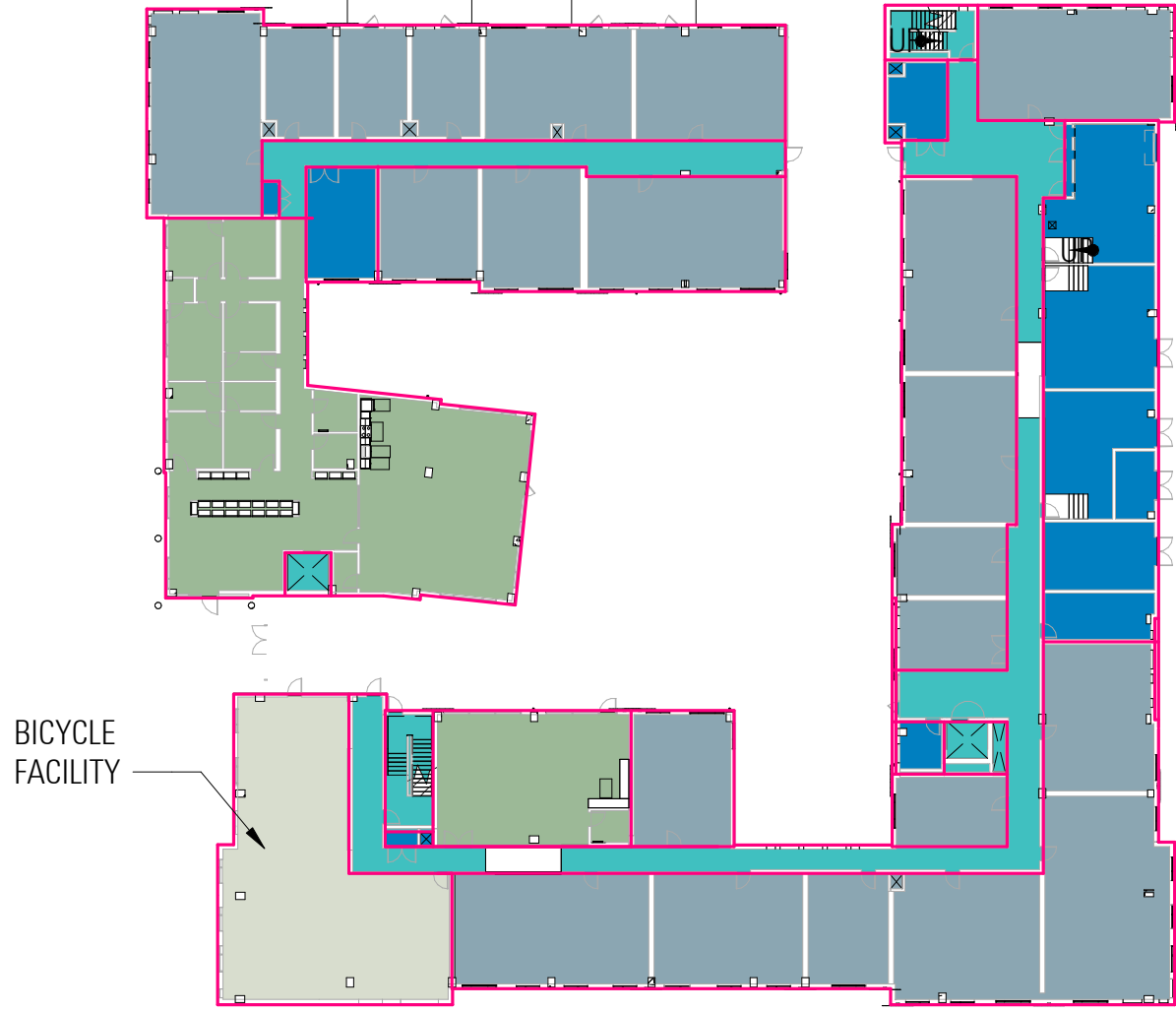




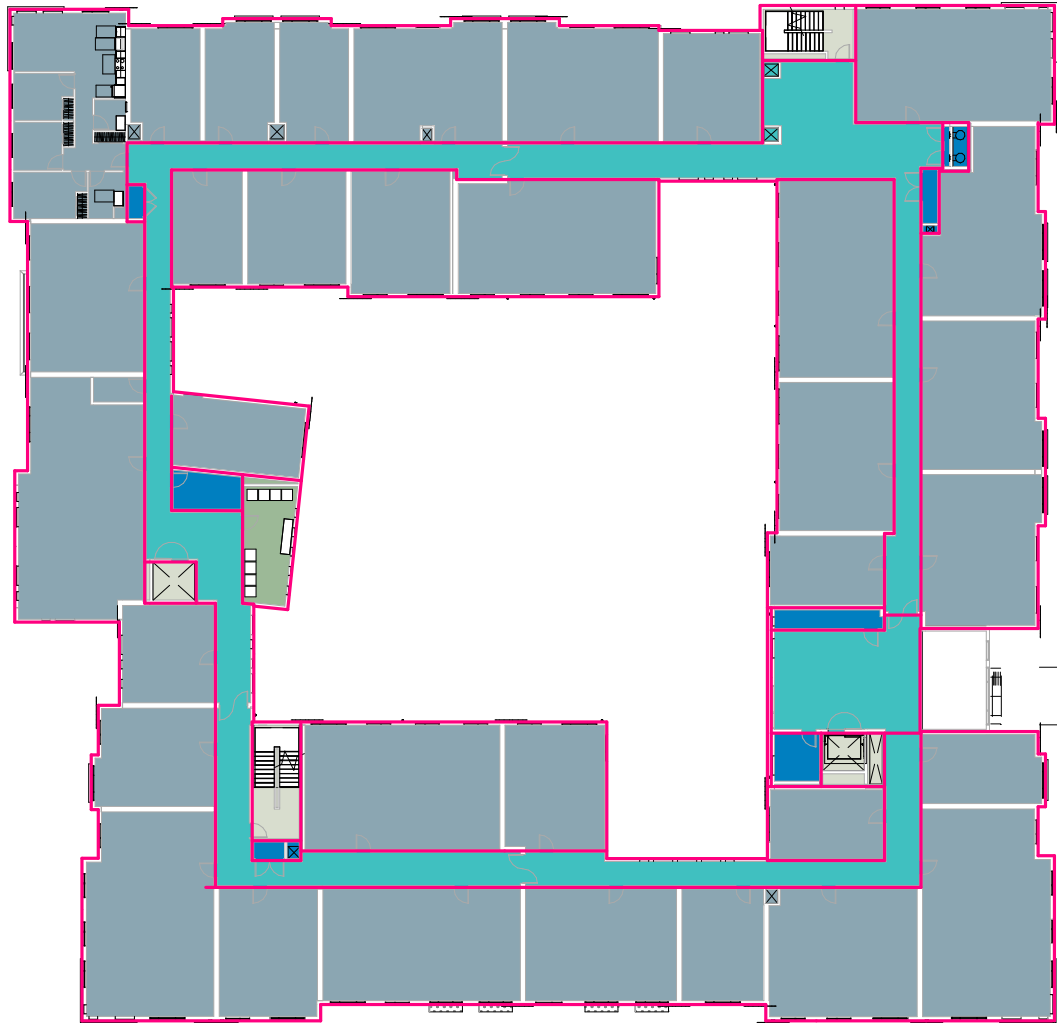
LEVEL 07  
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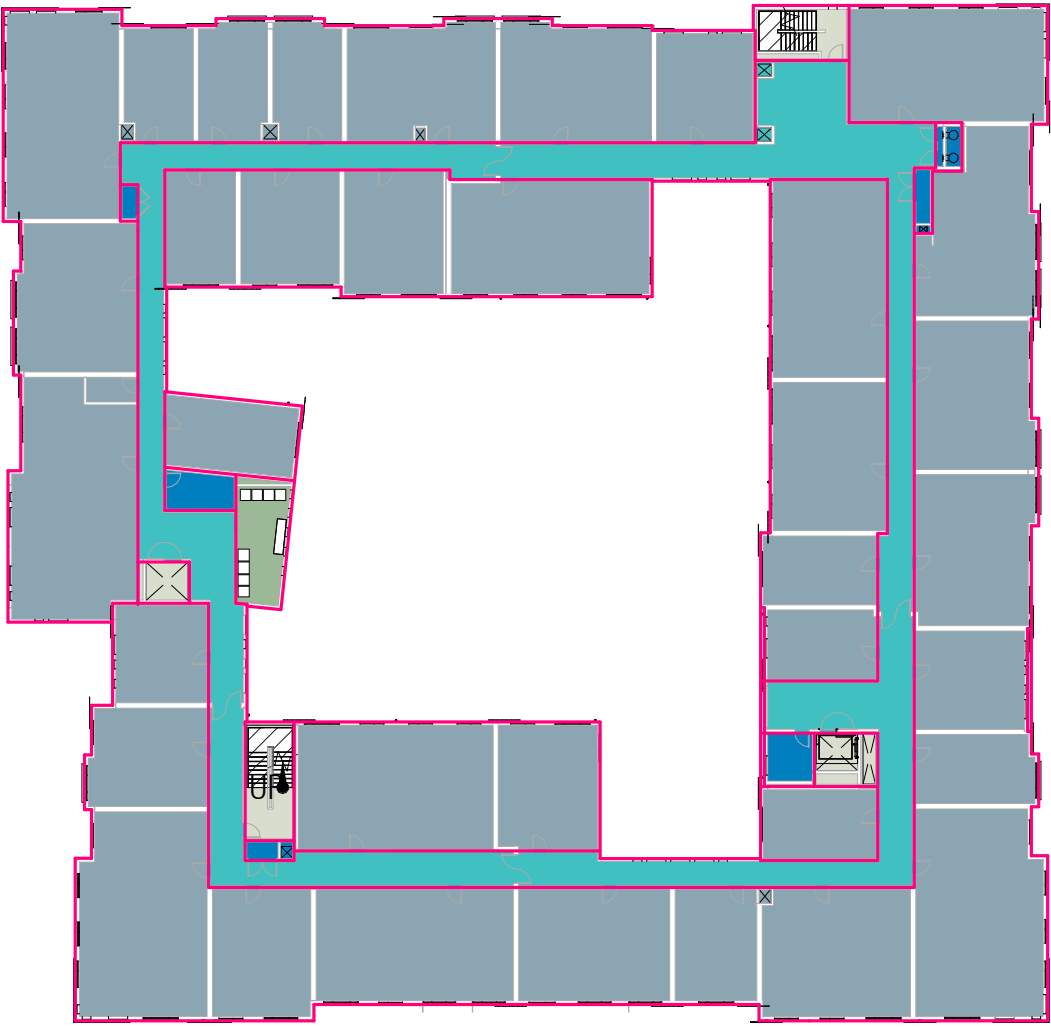
LEVEL 04  
1" = 40'-0"



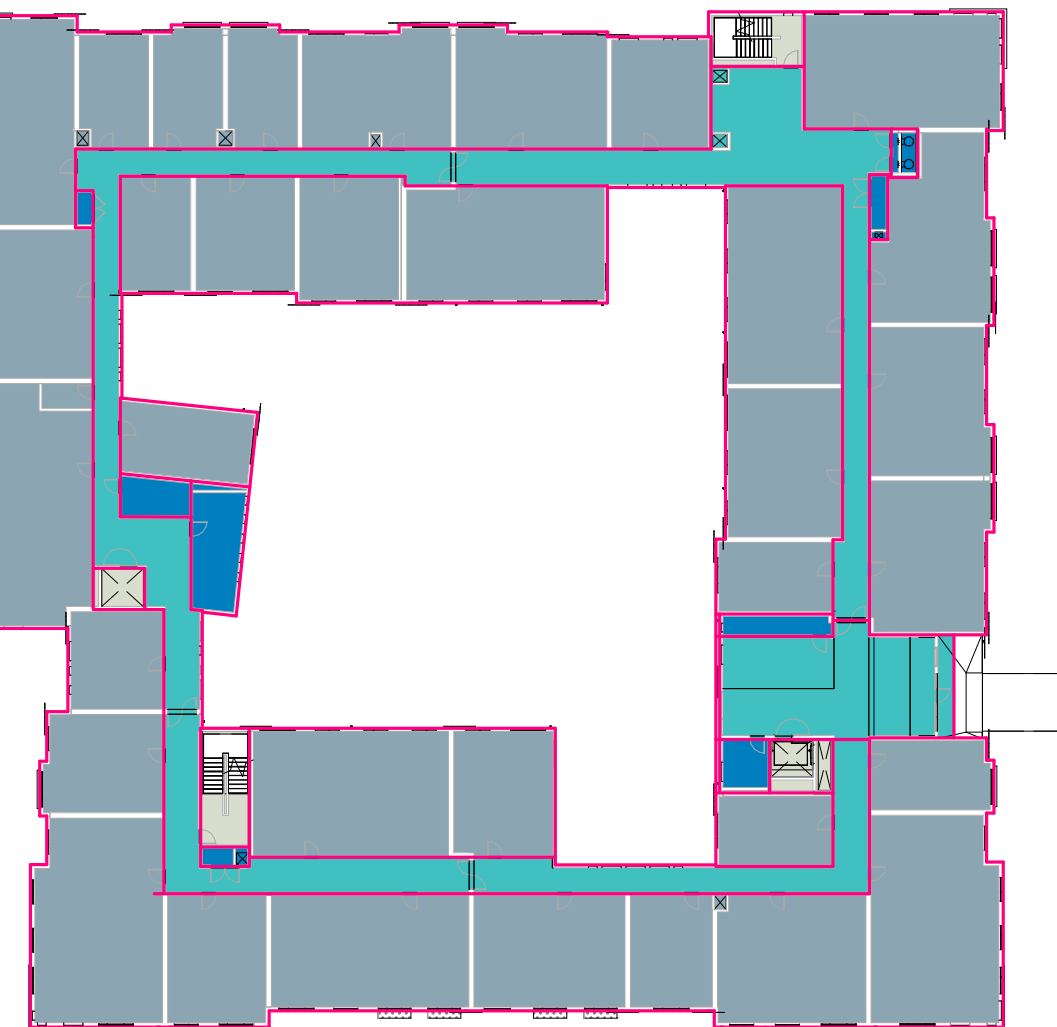
LEVEL 01  
1" = 40'-0"



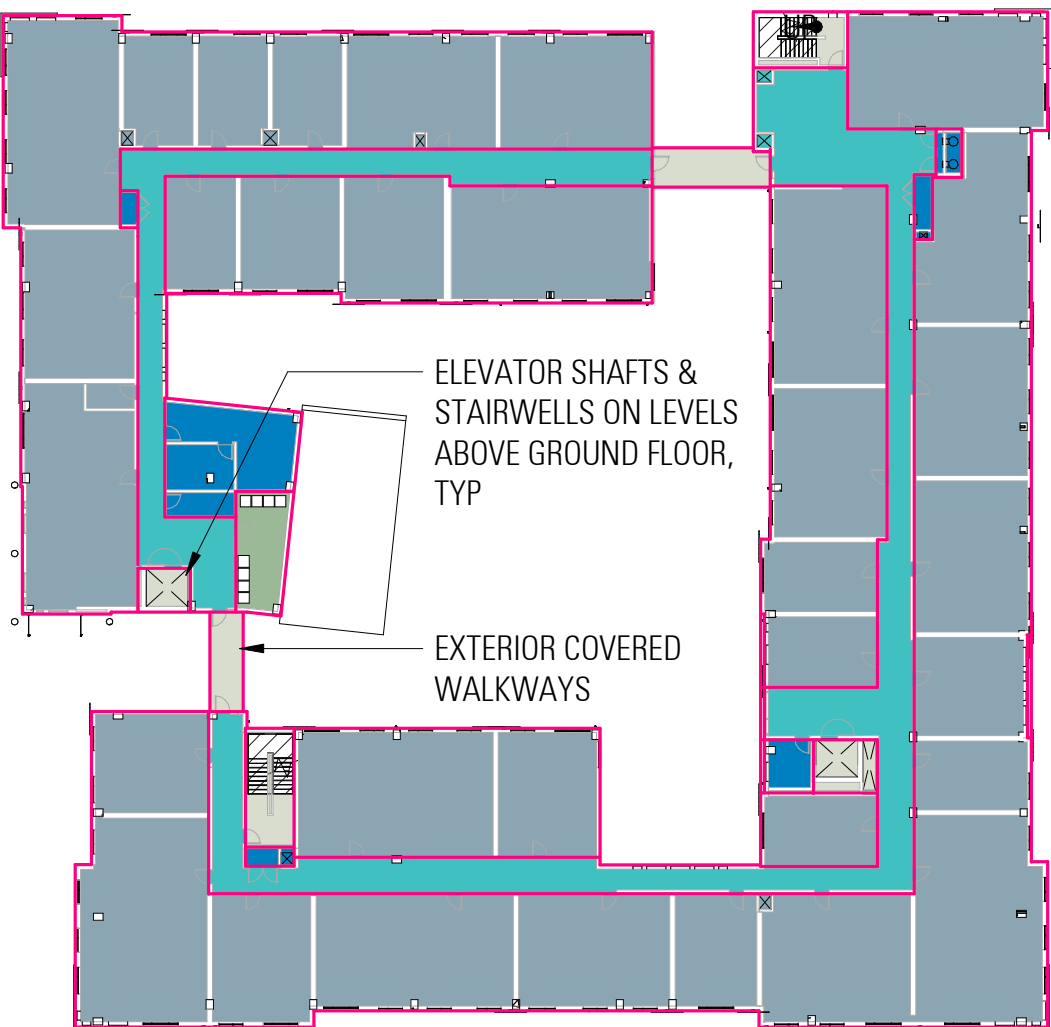
LEVEL 06  
1" = 40'-0"



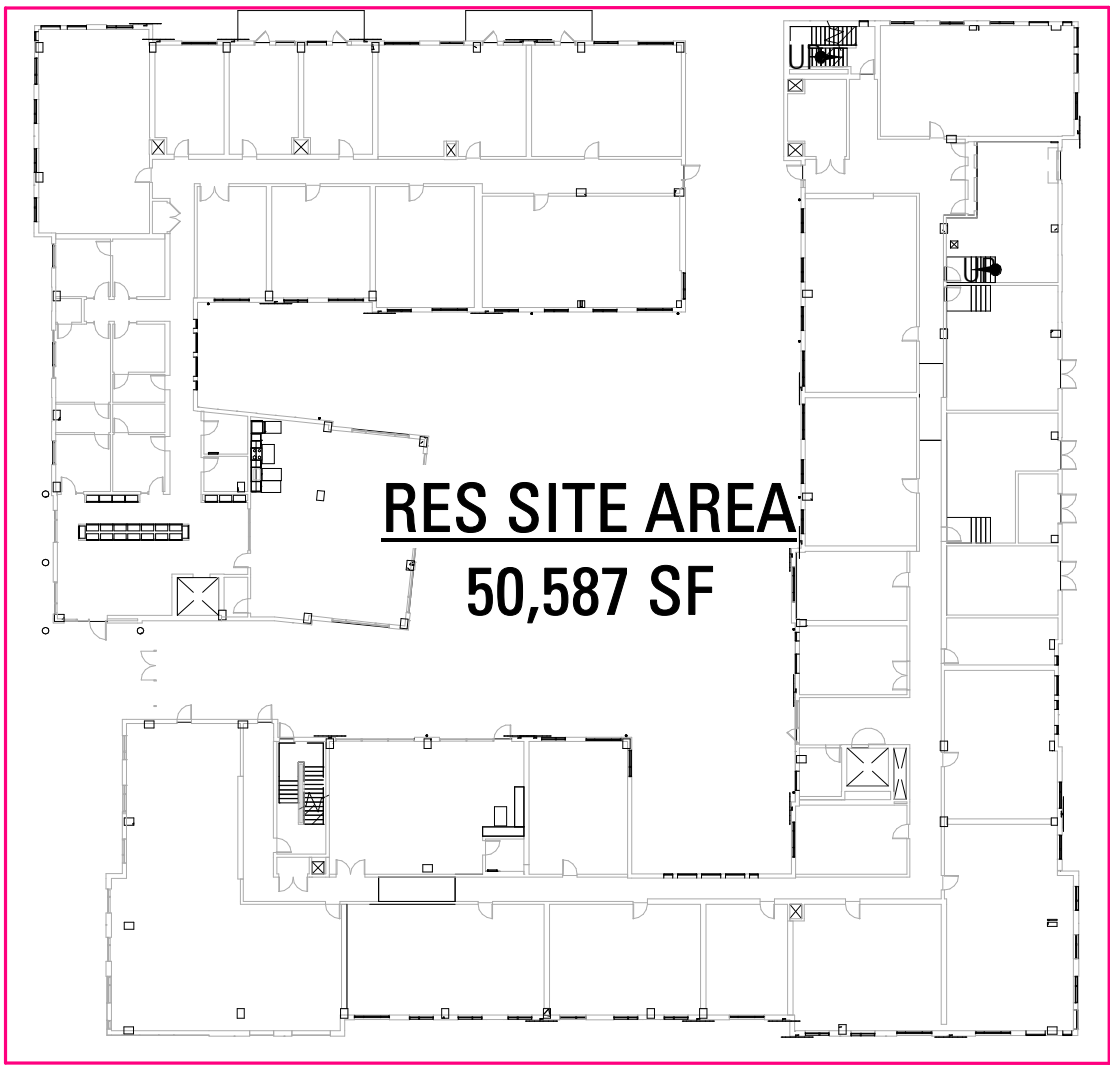
LEVEL 03  
1" = 40'-0"



LEVEL 05  
1" = 40'-0"



LEVEL 02  
1" = 40'-0"



RESIDENTIAL SITE AREA  
1" = 40'-0"

AREA SCHEDULE (RENTABLE)			
LEVEL	AREA	NAME	COMMENTS
LEVEL 07	2,417.8 SF	AMENITY	AMENITY GSF
LEVEL 07	4,769.4 SF	CIRC	RESIDENTIAL GSF
LEVEL 07	626.0 SF	EXEMPT	EXEMPT GSF
LEVEL 07	21,957.6 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 07	264.3 SF	UTILITY	RESIDENTIAL GSF
LEVEL 07	30,035.1 SF		

LEVEL 06	293.9 SF	AMENITY	AMENITY GSF
LEVEL 06	5,108.9 SF	CIRC	RESIDENTIAL GSF
LEVEL 06	715.4 SF	EXEMPT	EXEMPT GSF
LEVEL 06	24,744.7 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 06	523.7 SF	UTILITY	RESIDENTIAL GSF
LEVEL 06	31,386.6 SF		

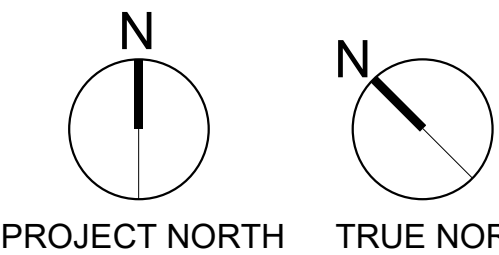
LEVEL 05	5,491.4 SF	CIRC	RESIDENTIAL GSF
LEVEL 05	715.7 SF	EXEMPT	EXEMPT GSF
LEVEL 05	24,777.3 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 05	817.6 SF	UTILITY	RESIDENTIAL GSF
LEVEL 05	31,801.9 SF		

LEVEL 04	293.8 SF	AMENITY	AMENITY GSF
LEVEL 04	4,643.5 SF	CIRC	RESIDENTIAL GSF
LEVEL 04	716.6 SF	EXEMPT	EXEMPT GSF
LEVEL 04	25,639.6 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 04	636.8 SF	UTILITY	RESIDENTIAL GSF
LEVEL 04	31,930.2 SF		

LEVEL 03	293.8 SF	AMENITY	AMENITY GSF
LEVEL 03	4,865.3 SF	CIRC	RESIDENTIAL GSF
LEVEL 03	716.0 SF	EXEMPT	EXEMPT GSF
LEVEL 03	25,641.3 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 03	413.8 SF	UTILITY	RESIDENTIAL GSF
LEVEL 03	31,930.1 SF		

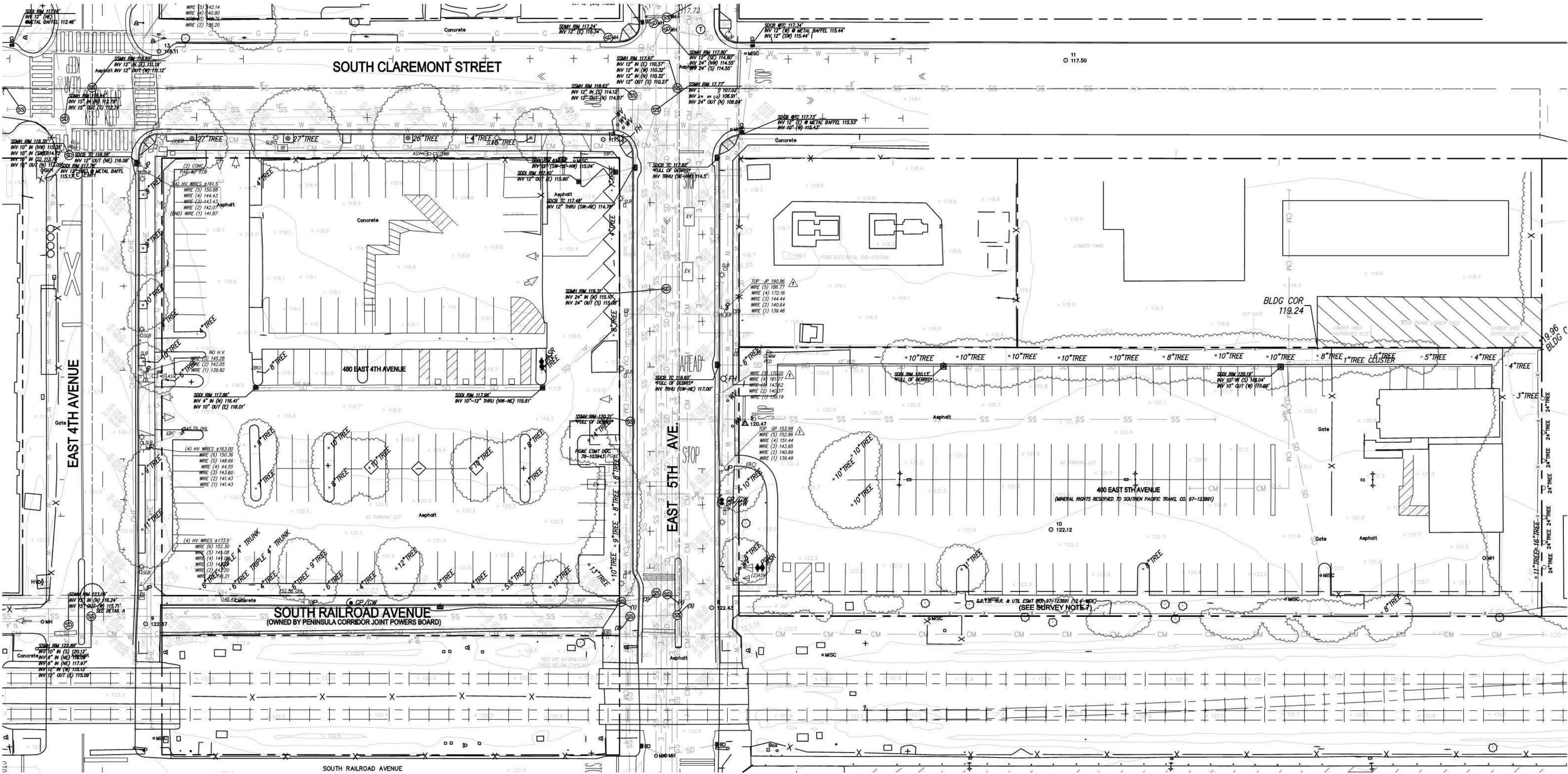
LEVEL 02	275.3 SF	AMENITY	AMENITY GSF
LEVEL 02	4,524.3 SF	CIRC	RESIDENTIAL GSF
LEVEL 02	1,069.4 SF	EXEMPT	EXEMPT GSF
LEVEL 02	23,912.5 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 02	868.2 SF	UTILITY	RESIDENTIAL GSF
LEVEL 02	30,649.7 SF		

LEVEL 01b (121.5')	5,495.1 SF	AMENITY	AMENITY GSF
LEVEL 01b (121.5')	4,265.6 SF	CIRC	RESIDENTIAL GSF
LEVEL 01b (121.5')	2,327.4 SF	EXEMPT	EXEMPT GSF
LEVEL 01b (121.5')	15,647.2 SF	RESIDENTIAL	RESIDENTIAL GSF
LEVEL 01b (121.5')	3,387.8 SF	UTILITY	RESIDENTIAL GSF
LEVEL 01b (121.5')	31,123.1 SF		
GROSS TOTAL	218,856.8 SF		



AS CURRENTLY PROPOSED





LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- EASEMENT
- CENTERLINE
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING COMMUNICATIONS
- EXISTING ELECTRICAL
- EXISTING OVERHEAD ELECTRICAL
- EXISTING GAS
- EXISTING FENCE
- EXISTING TREE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM DRAIN INLET
- EXISTING SANITARY SEWER MANHOLE
- EXISTING ELECTROLIER
- EXISTING SIGN

ABBREVIATIONS

- |          |                         |
|----------|-------------------------|
| AC       | ASPHALTIC CONCRETE      |
| ASR      | AUTO-SPRINKLER          |
| ASV      | ANTI-SIPHON VALVE       |
| BLDG COR | BUILDING CORNER         |
| CLF      | CHAIN LINK FENCE        |
| COMM PED | COMMUNICATIONS PEDESTAL |
| CONC     | CONCRETE                |
| D/W      | DRIVEWAY                |
| EB       | ELECTRIC PULLBOX        |
| ECB      | ELECTRIC CABINET        |
| EMH      | ELECTRIC MANHOLE        |
| EV       | ELECTRIC VAULT          |
| FH       | FIRE HYDRANT            |
| FL       | FLOWLINE                |
| GP/GW    | GUY POLE/GUY WIRE       |
| INV      | INVERT                  |
| JP       | JOINT POLE              |
| LG       | LIP OF GUTTER           |
| OHE      | OVERHEAD ELECTRIC       |
| PIV      | PRESSURE INTAKE VALVE   |
| RMP      | SIDEWALK RAMP           |
| S/W      | SIDEWALK                |
| SDCB     | STORM DRAIN CATCH BASIN |
| SDDI     | STORM DRAIN DRAIN INLET |
| SDMH     | STORM DRAIN MANHOLE     |
| SLB      | STREET LIGHT BOX        |
| SSMH     | SANITARY SEWER MANHOLE  |
| TB       | COMMUNICATIONS PULLBOX  |
| TC       | TOP OF CURB             |
| TRAN     | TRANSFORMER             |
| UB       | UTILITY PULLBOX         |
| WB       | WATER PULLBOX           |
| WM       | WATER METER             |
| WV       | WATER VALVE             |

DIP INFORMATION

NO.	TYPE	RIM (ELV.)	INV NOTES
1	SD MH	122.54'	INV 12" IN (SW) 119.04' INV 12" IN (W) 118.60' INV 15" OUT (E) 118.47'
2	SS MH	122.71'	INV 15" IN (N) 115.79' INV 15" OUT (S) 115.71'
3	SS MH	122.25'	INV 12" IN (S) 107.99' INV 12" OUT (N) 107.95'
4	SD MH	122.38'	INV 15" IN (SW) 116.78' INV 24" IN (S) 115.68' INV 24" OUT (N) 115.56'
5	SS MH	122.75'	INV IN (N) 113.15' INV OUT (S) 112.93'

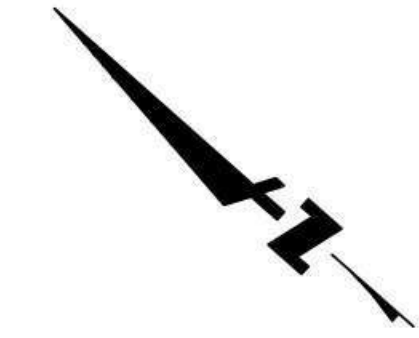
SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATES OF FIELD SURVEY: SEPTEMBER 28, 2018
- BENCHMARK: THE BENCHMARK USED FOR THIS SURVEY IS A CITY OF SAN MATEO BENCHMARK, BM 033-004, A RAM SET NAIL AND WASHER ON THE TOP OF CURB AT THE EASTERLY END OF NORTHEASTERLY RETURN AT THE INTERSECTION OF B STREET AND 5TH AVENUE, CITY OF SAN MATEO.  
  
ELEV = 125.28 FEET (SAN MATEO DATUM +100 FEET)
- BASIS OF BEARINGS: THE BEARING OF N41°28'00"W ALONG THE CENTERLINE OF SOUTH DELAWARE STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP RECORDED ON JULY 6, 1991 IN BOOK 19 OF LICENSED LAND SURVEYS AT PAGE 82, SAN MATEO COUNTY RECORDS, AND AS SHOWN HEREON, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.
- AERIAL BASED TOPOGRAPHIC MAP SHOWN AS BACKGROUND TO THIS SURVEY PROVIDED BY 360 AERIAL SURVEYS DATED 08/31/18.
- BEARINGS AND DISTANCES ARE SHOWN AS PER THE RECORD; PM 324 VOLUME 64, PG. 53 AND PM 356 VOLUME 70, PG. 4.
- UNION PACIFIC, FORMERLY KNOWN AS SOUTHERN PACIFIC TRANSPORTATION COMPANY (S.P.T.C.), HAS THE RIGHT TO OWN, CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE, USE AND/OR REMOVE EXISTING AND/OR FUTURE RAILROAD, RAIL AND RAILROAD-RELATED EQUIPMENT, FACILITIES, TRANSPORTATION SYSTEMS, PIPELINES, COMMUNICATION SYSTEMS, LINES AND FACILITIES OF EVERY KIND AND NATURE.

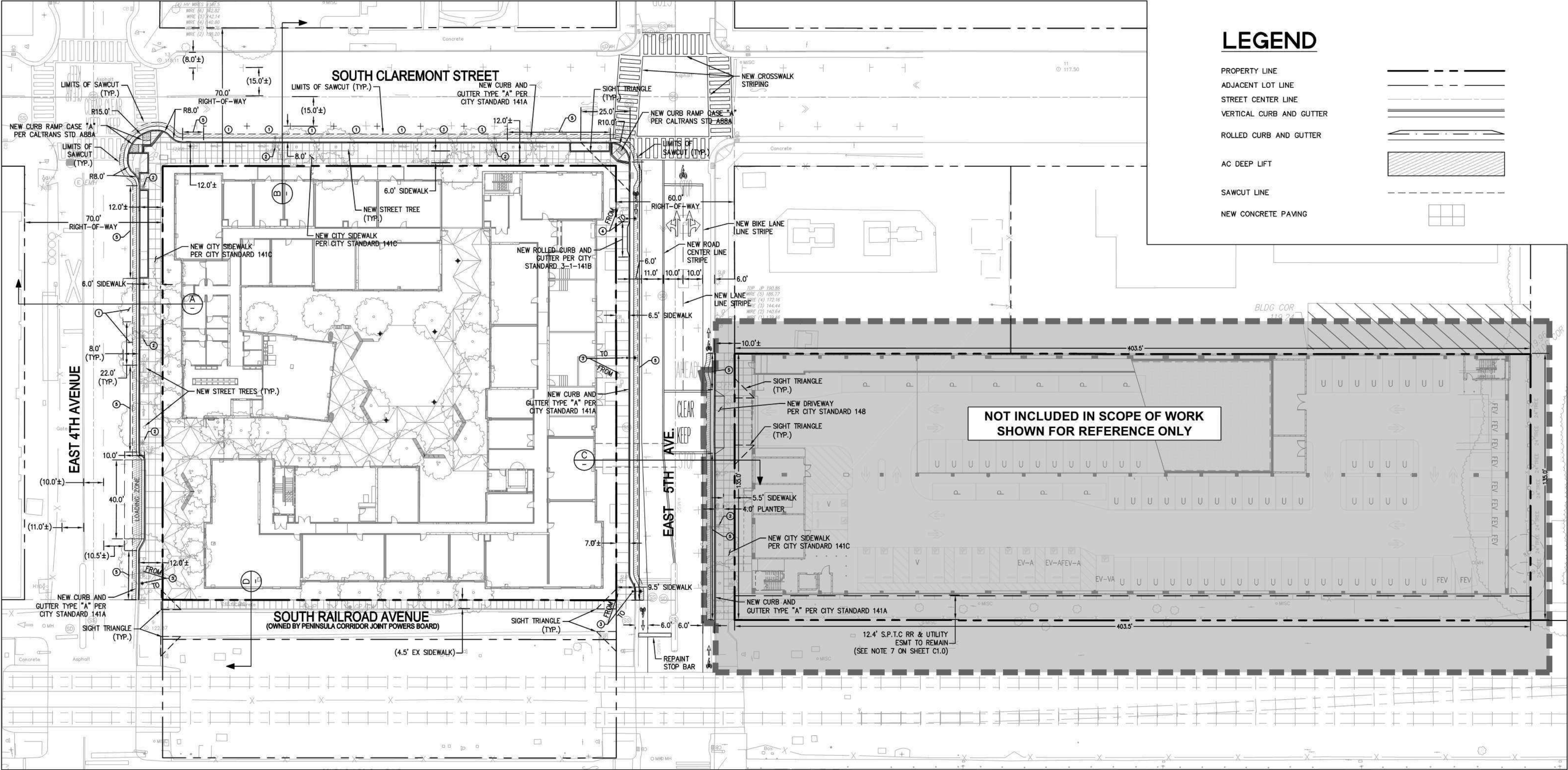
SURVEYOR STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF MIDPEN HOUSING, INC. ON 11/08/2018.

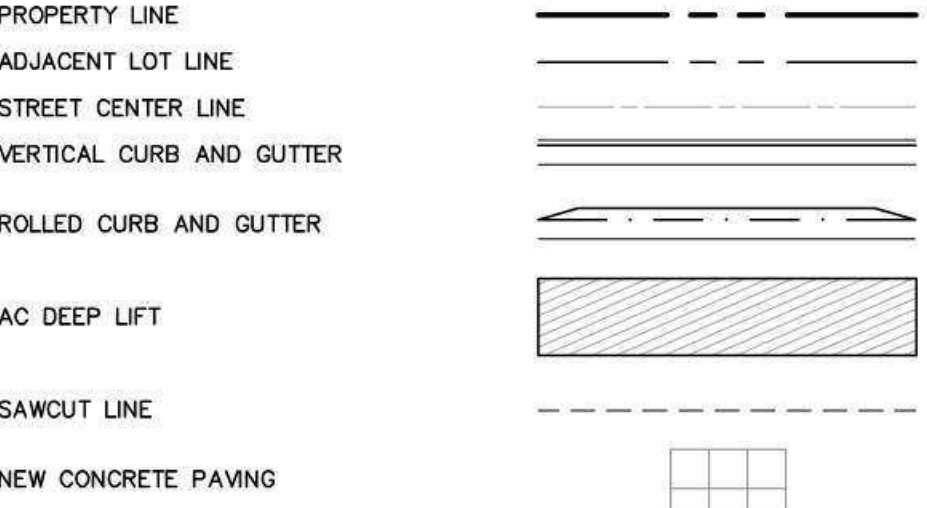
<i>David Darling</i>	NOVEMBER 8, 2018
SIGNATURE	DATE
SURVEYOR	L.S. 7625
TITLE	LICENSE #







LEGEND

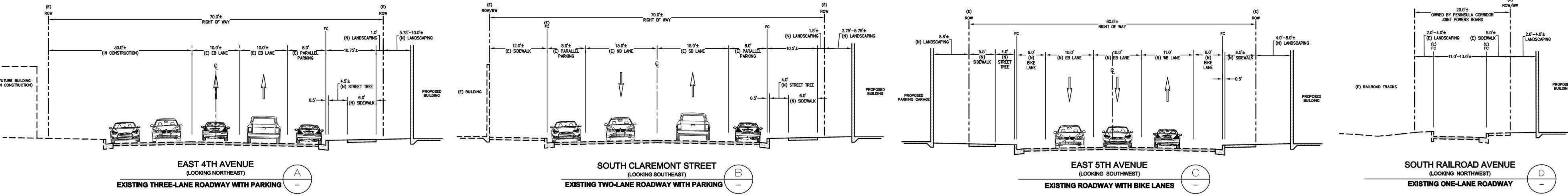
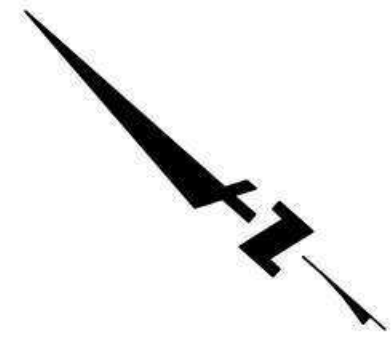


KEYNOTES

- ① STANDARD 8' x 22' PARALLEL PARKING STALL
- ② EXISTING STREET LIGHT TO REMAIN
- ③ RELOCATED EXISTING STREET LIGHT
- ④ EXISTING MEMORIAL STREET LIGHT TO BE PROTECTED, SALVAGED, AND RELOCATED IN SIMILAR LOCATION OUTSIDE PATH OF TRAVEL
- ⑤ PAINTED RED CURB - NO PARKING

NOTES

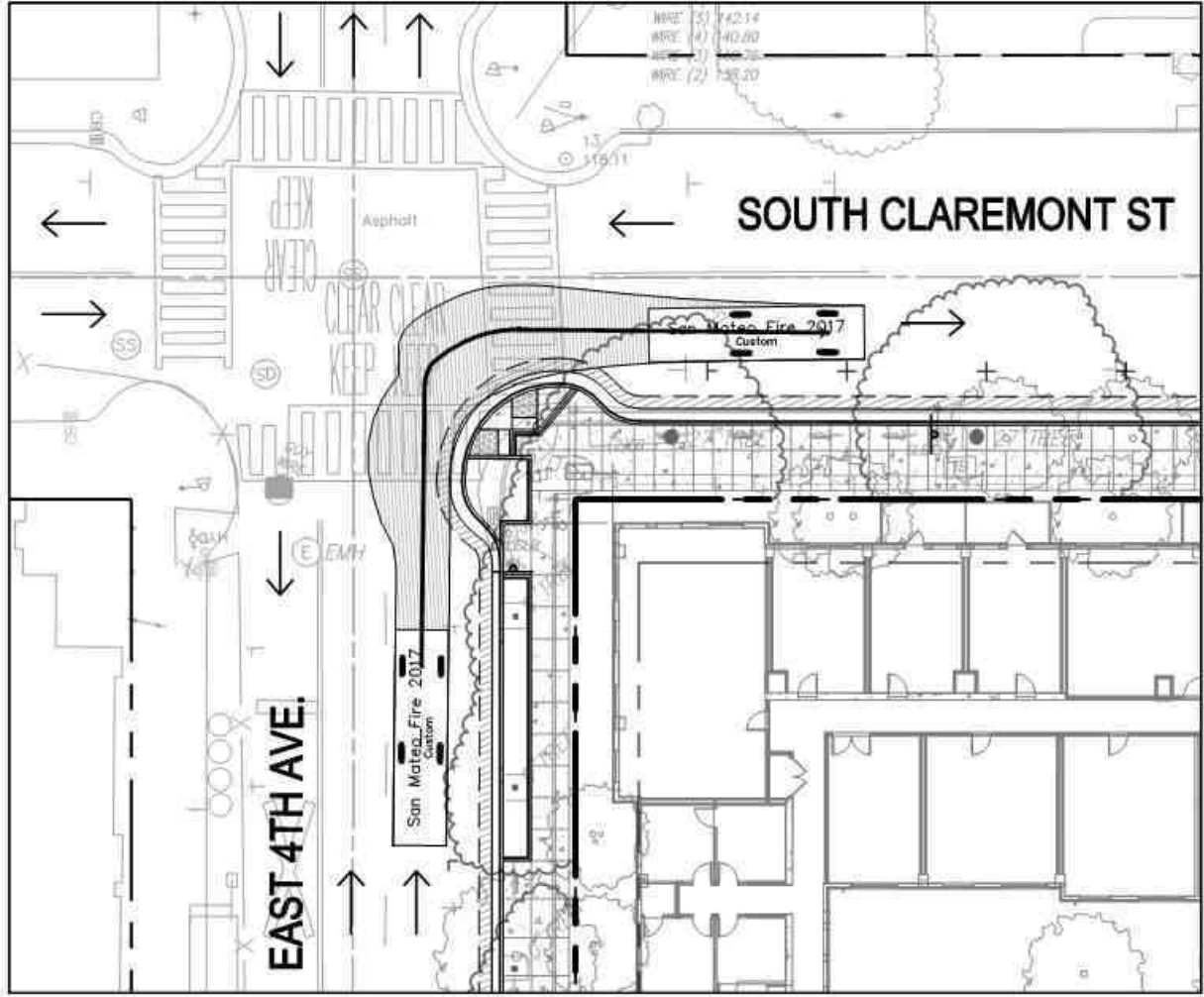
- 1. PEDESTRIAN AND BICYCLIST IMPROVEMENTS SHALL BE CLARIFIED DURING CONDITIONS OF APPROVAL.
- 2. RESTRIPE EASTBOUND 5TH AVENUE WITH TWO THROUGH LANES. TWO THROUGH LANES ARE REQUIRED EAST OF THE PROPOSED PROJECT DRIVEWAY TO THE DELAWARE STREET INTERSECTION. AT THE CLAREMONT STREET INTERSECTION, EASTBOUND 5TH AVENUE WOULD BE RESTRIPED WITH ONE SHARED LEFT-THROUGH LANE AND ONE SHARED THROUGH-RIGHT LANE. THE INTERSECTION OF DELAWARE STREET AND 5TH AVENUE WOULD REQUIRE SIGNAL RETIMING.
- 3. INSTALL "KEEP CLEAR" MARKINGS ALONG EASTBOUND 5TH AVENUE IN FRONT OF PROPOSED PROJECT DRIVEWAY.
- 4. IMPLEMENT CLASS II BIKE LANES PER THE 2020 BIKE MASTER PLAN ALONG BOTH SIDES OF 5TH AVENUE, FROM EAST OF THE RAILROAD TRACKS TO DELAWARE STREET.
- 5. INSTALL CROSSWALKS AT THE INTERSECTION OF CLAREMONT STREET AND 5TH AVENUE ON ALL APPROACHES.
- 6. REMOVE ALL ON-STREET PARKING ALONG BOTH SIDES OF 5TH AVENUE FROM EAST OF THE RAILROAD TRACKS TO DELAWARE STREET FOR LANE RESTRIPING, IMPLEMENTATION OF BIKE LANES AND SIGHT VISIBILITY.
- 7. IMPLEMENT A BICYCLE BOULEVARD ON SOUTH CLAREMONT STREET ALONG THE PROJECT FRONTAGE.
- 8. SEE FIRE TRUCK TURNING AND LOADING ZONE PARKING MOVEMENTS ON SHEET C2.1.



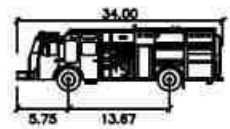
PROPOSED SECTIONS

NOT TO SCALE

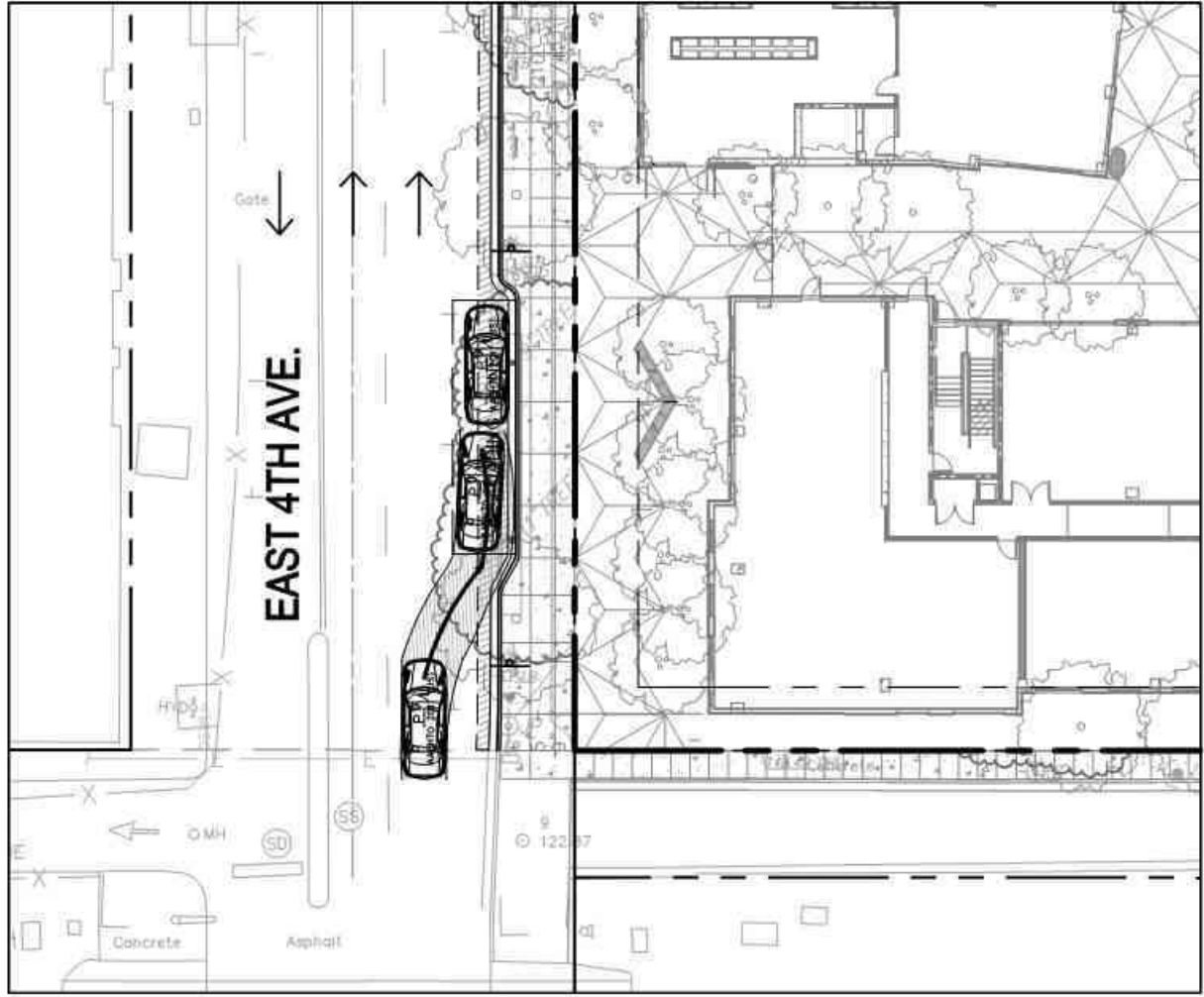
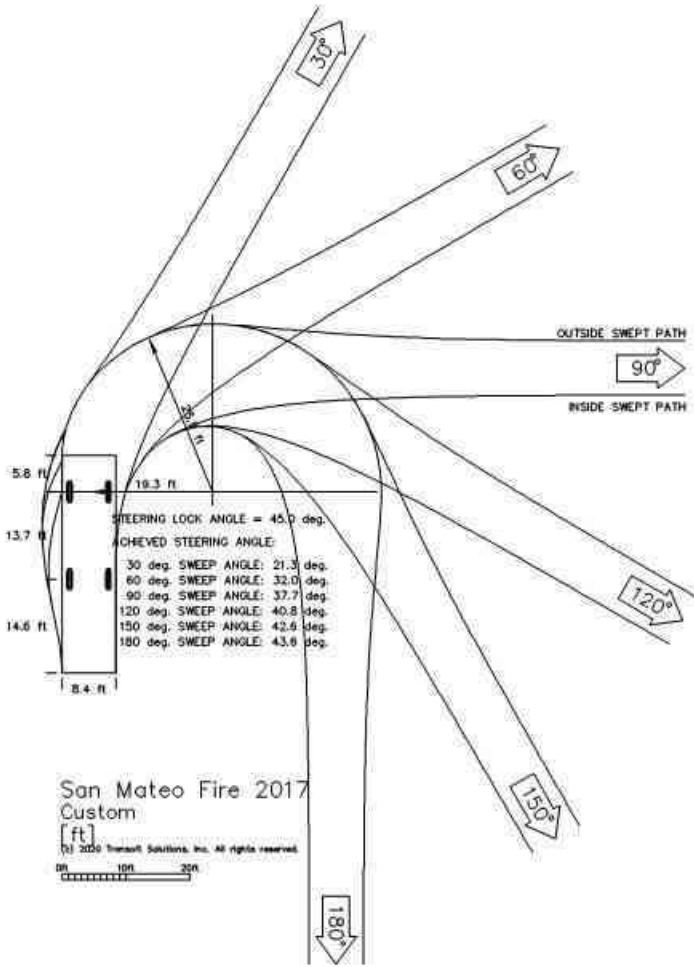




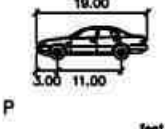
**FIRETRUCK TURNING MOVEMENT -  
EAST 4TH AVE. & SOUTH CLAREMONT ST.**  
SCALE: 1"=30'



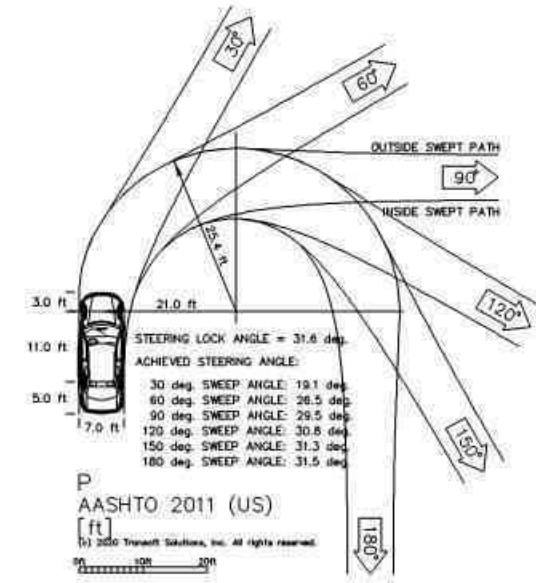
San Mateo Fire 2017  
Width : 8.41  
Track : 8.81  
Look to Look Time : 8.50  
Steering Angle : 45.0



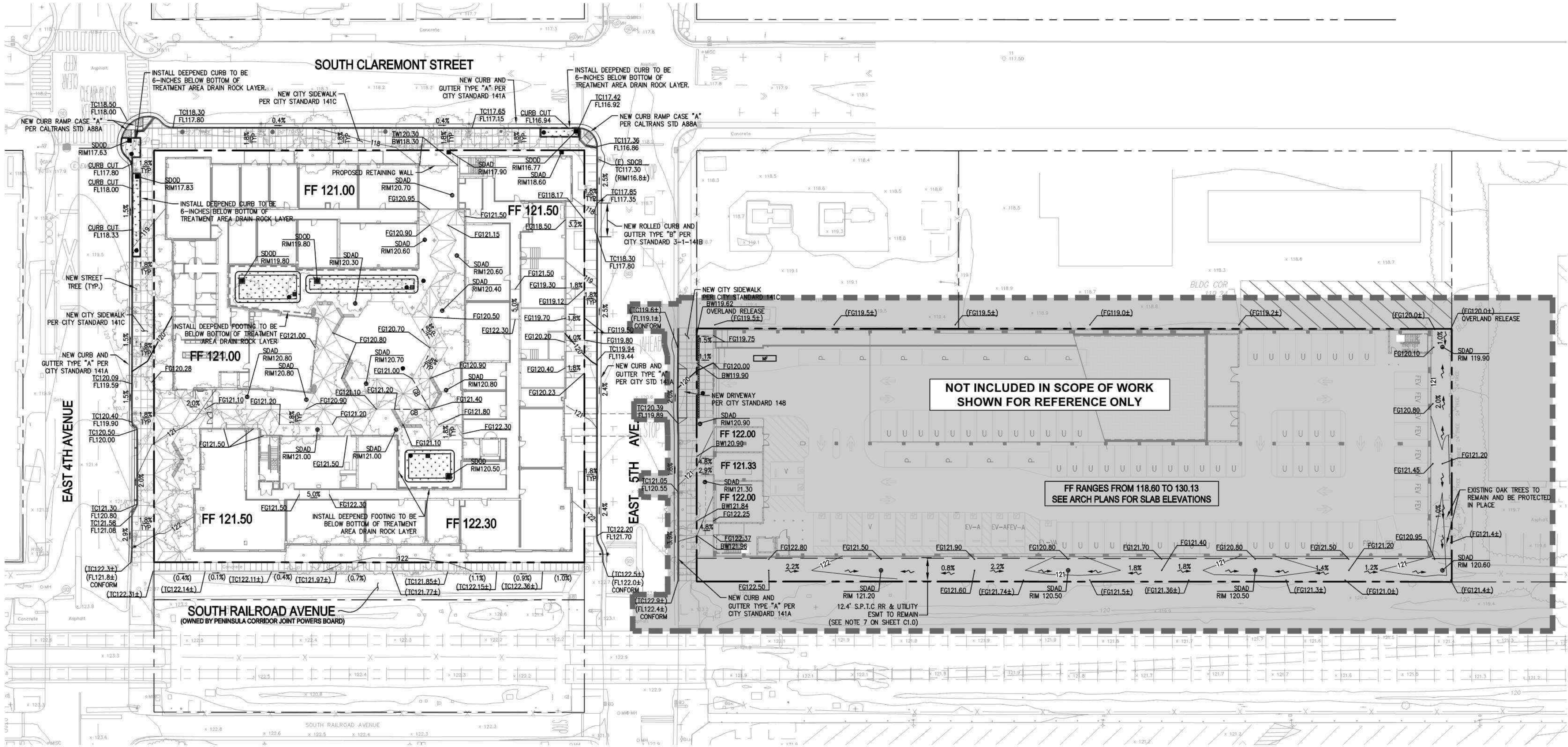
**PASSENGER CAR PARKING MOVEMENT -  
EAST 4TH AVE. LOADING ZONE**  
SCALE: 1"=30'



San Mateo Fire 2017  
Width : 7.00  
Track : 8.00  
Look to Look Time : 8.00  
Steering Angle : 45.0







LEGEND

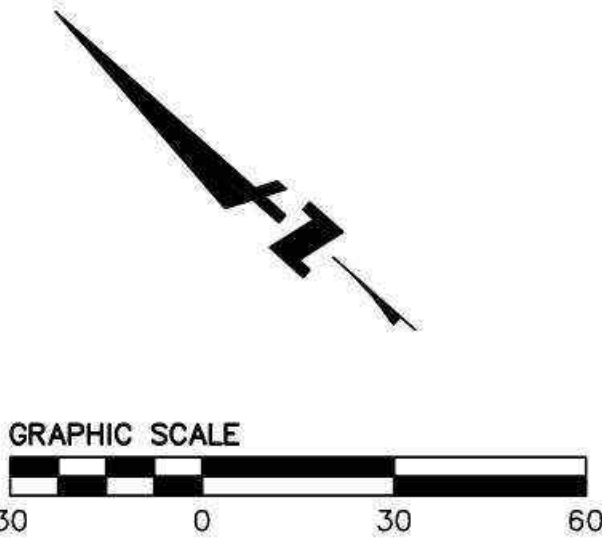
SOFTSCAPE	HARDSCAPE	SLOPE DIRECTION
TC50.50 PV50.00 (TC50.50±) (PV50.00±)	OFD	PROPOSED SPOT GRADE
SDAD	SDCB	EXISTING SPOT GRADE
		OVERFLOW DRAIN RISER
		STORM DRAIN AREA DRAIN
		STORM DRAIN CATCH BASIN

NOTES

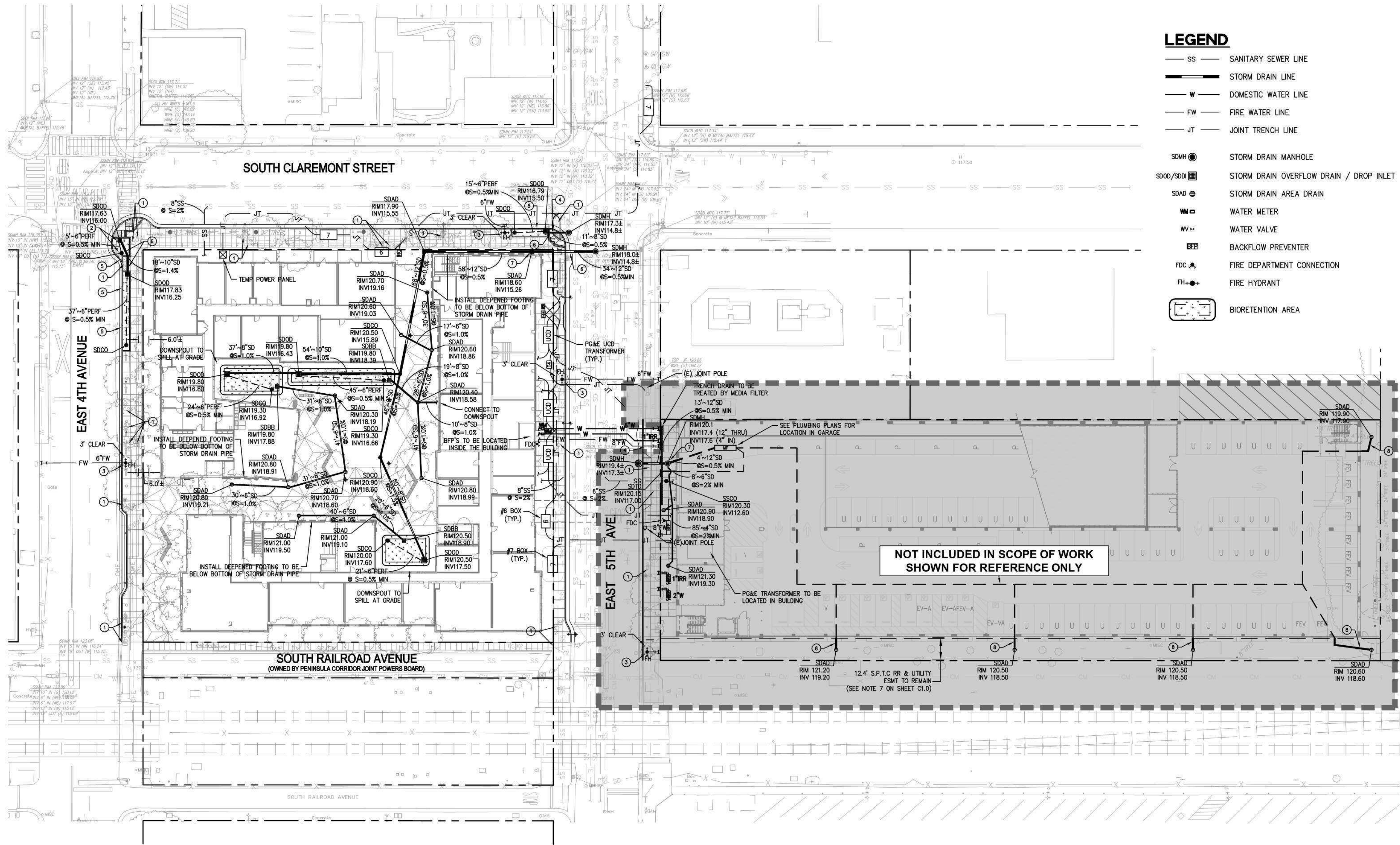
- ALL STORM DRAIN INLETS SURROUNDING AND WITHIN THE PROJECT SITE SHALL HAVE THE MARKING \*NO DUMPING! FLOWS TO BAY\* OR EQUIVALENT, USING METHODS APPROVED BY THE CITY STANDARDS, CONSISTENT WITH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S C.3 REQUIREMENTS.

GRADING ESTIMATE

CUT: 1,800 CY  
FILL: 4,100 CY







LEGEND

- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- W DOMESTIC WATER LINE
- FW FIRE WATER LINE
- JT JOINT TRENCH LINE
- SDMH STORM DRAIN MANHOLE
- SDOD/SDOI STORM DRAIN OVERFLOW DRAIN / DROP INLET
- SDAD STORM DRAIN AREA DRAIN
- WM WATER METER
- WV WATER VALVE
- BFP BACKFLOW PREVENTER
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- BIORETENTION AREA

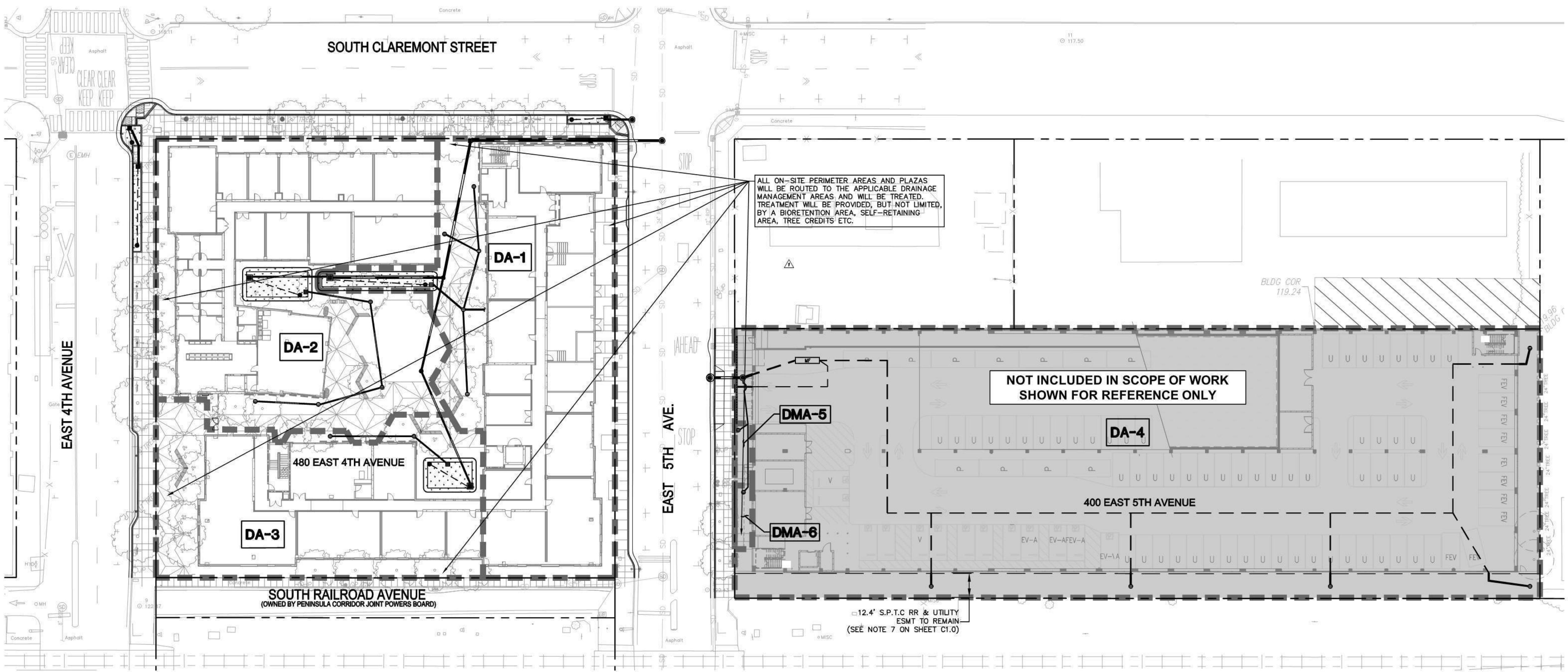
KEY NOTE

- 1 EXISTING UTILITY STRUCTURE TO BE ADJUSTED TO NEW FINISH GRADE
- 2 REMOVE EXISTING CATCH BASIN STRUCTURE AND CONNECT TO EXISTING OUTLET STORM DRAIN LINE
- 3 PROPOSED FIRE HYDRANT
- 4 REMOVE EXISTING FIRE HYDRANT
- 5 CURB CUT
- 6 LEAN CONCRETE FILL SHALL BE USED FOR BACKFILL TO PROTECT FROM LOW FINISH GRADE COVER
- 7 AS A CONDITION OF APPROVAL, A TRASH CAPTURE DEVICE, AT MINIMUM, WILL BE REQUIRED AT THE LAST PRIVATE STORM OUTLET RIGHT BEFORE ENTERING PUBLIC RIGHT-OF-WAY. TRASH CAPTURE SHALL MEET THE STATE WATER RESOURCES CONTROL BOARD DEFINITION OF FULL CAPTURE SYSTEM. REFER TO MUNICIPAL CODE 7.39.10.

NOTES

- 1. ALL NEW HYDRANTS SHALL BE CLOW MODEL 960 OR EQUIVALENT CONSISTING OF (2) 2 1/2 INCH AND (1) 4 1/2 INCH OUTLET. EACH HYDRANT SHALL BE CAPABLE OF PROVIDING A MINIMUM FIRE FLOW OF 1500 GPM AT 20 PSI RESIDUAL PRESSURE.
- 2. WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH CALIFORNIA WATER SERVICE SPECIFICATIONS. THE WATER SUPPLY SHALL BE TESTED, FLUSHED AND APPROVED OPERABLE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING PLACED ON THE SITE. STAGED CONSTRUCTION SHALL INSURE THAT THE NECESSARY WATER SUPPLY IS MAINTAINED FROM STAGE TO STAGE IN THE CONSTRUCTION PLANNING.
- 3. MAINTAIN A 3-FOOT CLEAR SPACE AROUND ALL FIRE HYDRANTS. HYDRANTS SHALL BE INSTALLED, TESTED, FLUSHED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO ANY COMBUSTIBLE MATERIALS BROUGHT ONTO THE WORK SITE.
- 4. ALL STORM DRAIN INLETS SURROUNDING AND WITHIN THE PROJECT SITE SHALL HAVE THE MARKING "NO DUMPING! FLOWS TO BAY," OR EQUIVALENT, USING METHODS APPROVED BY THE CITY STANDARDS, CONSISTENT WITH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S C.3 REQUIREMENTS.



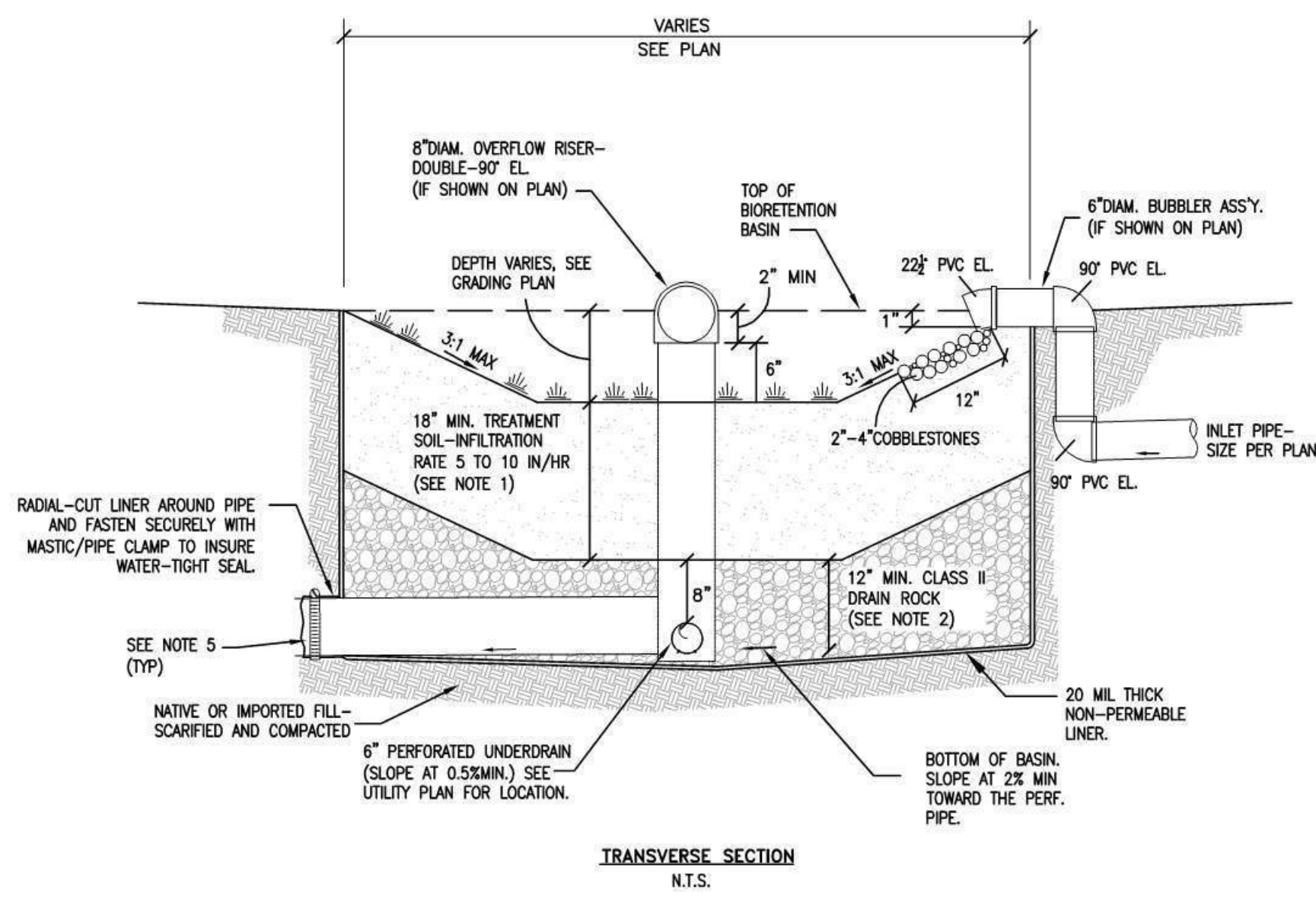


LEGEND

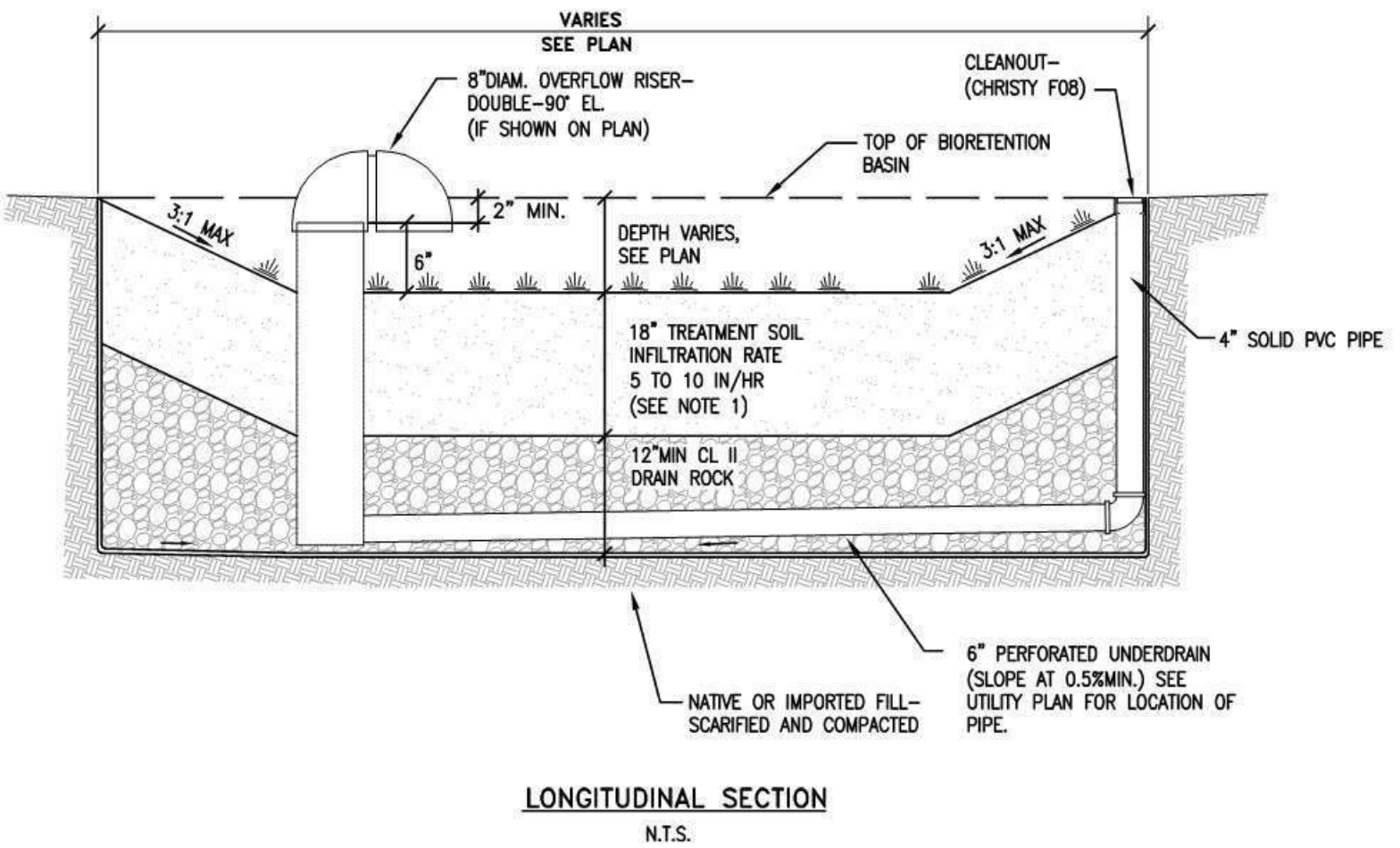
- DA-1 DRAINAGE AREA BOUNDARY
- MF MEDIA FILTER
- BIORETENTION TREATMENT AREA

NOTES

- 1. TREATMENT SOIL MIX SHALL MEET REQUIREMENTS AS SPECIFIED IN THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK DATED 2014 IN APPENDIX K.
- 2. THE BIOTREATMENT SOIL MIX USED IN ALL BIORETENTION AREAS SHALL COMPLY WITH THE SPECIFICATIONS IN ATTACHMENT L OF THE RWQCB MUNICIPAL REGIONAL PERMIT. IF THE BIOTREATMENT SOIL MIX SUPPLIER IS INCLUDED ON SCVURPPP'S "BIOTREATMENT SOIL MIX SUPPLIER LIST" (SUPPLIER LIST), A BIOTREATMENT SOIL MIX SUPPLIER CERTIFICATION STATEMENT (CERTIFICATION STATEMENT) SHALL BE COMPLETED BY THE SUPPLIER AND SUBMITTED TO THE CITY/PROJECT ENGINEER A MINIMUM OF 14 DAYS PRIOR TO DELIVERY OF THE MATERIAL TO THE JOB SITE. IF THE BIOTREATMENT SOIL MIX SUPPLIER IS NOT INCLUDED ON THE SUPPLIER LIST, A BIOTREATMENT SOILS MIX VERIFICATION CHECKLIST (VERIFICATION CHECKLIST) SHALL BE COMPLETED BY THE SUPPLIER AND SUBMITTED TO THE CITY/PROJECT ENGINEER A MINIMUM OF 14 DAYS PRIOR TO DELIVERY OF THE MATERIAL TO THE JOB SITE. COPIES OF THE SUPPLIER LIST, CERTIFICATION STATEMENT AND VERIFICATION CHECKLIST CAN BE DOWNLOADED FROM THE COUNTYWIDE PROGRAM'S WEBSITE AT [HTTP://WWW.FLOWSTOBAY.ORG/NEWDEVELOPMENT](http://www.flowstobay.org/newdevelopment)
- 3. PERMEABLE DRAIN ROCK SHALL BE CLASS II, PER CALTRANS STANDARD SECTION 68-1.025. THE MATERIAL SHALL BE WASHED AND FREE FROM CLAY OR ORGANIC MATERIAL.
- 4. PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
- 5. FOR ANY LINER PENETRATIONS, RADIAL-CUT THE LINER FOR PIPE. MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
- 6. ALL STORM DRAIN INLETS SURROUNDING AND WITHIN THE PROJECT SITE SHALL HAVE THE MARKING "NO DUMPING! FLOWS TO BAY," OR EQUIVALENT, USING METHODS APPROVED BY THE CITY STANDARDS, CONSISTENT WITH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S C.3 REQUIREMENTS.



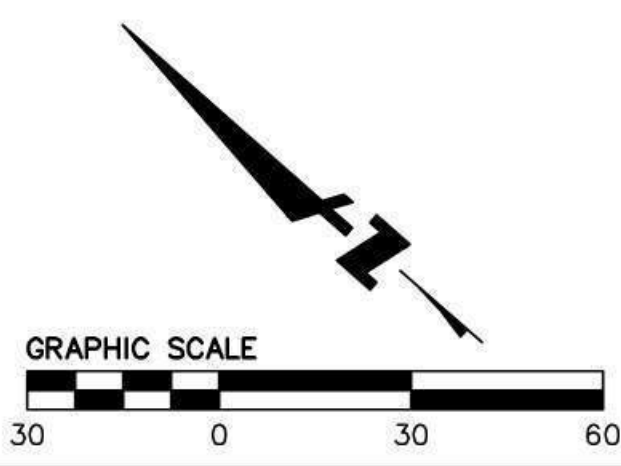
TYPICAL BIORETENTION AREA  
N.T.S.



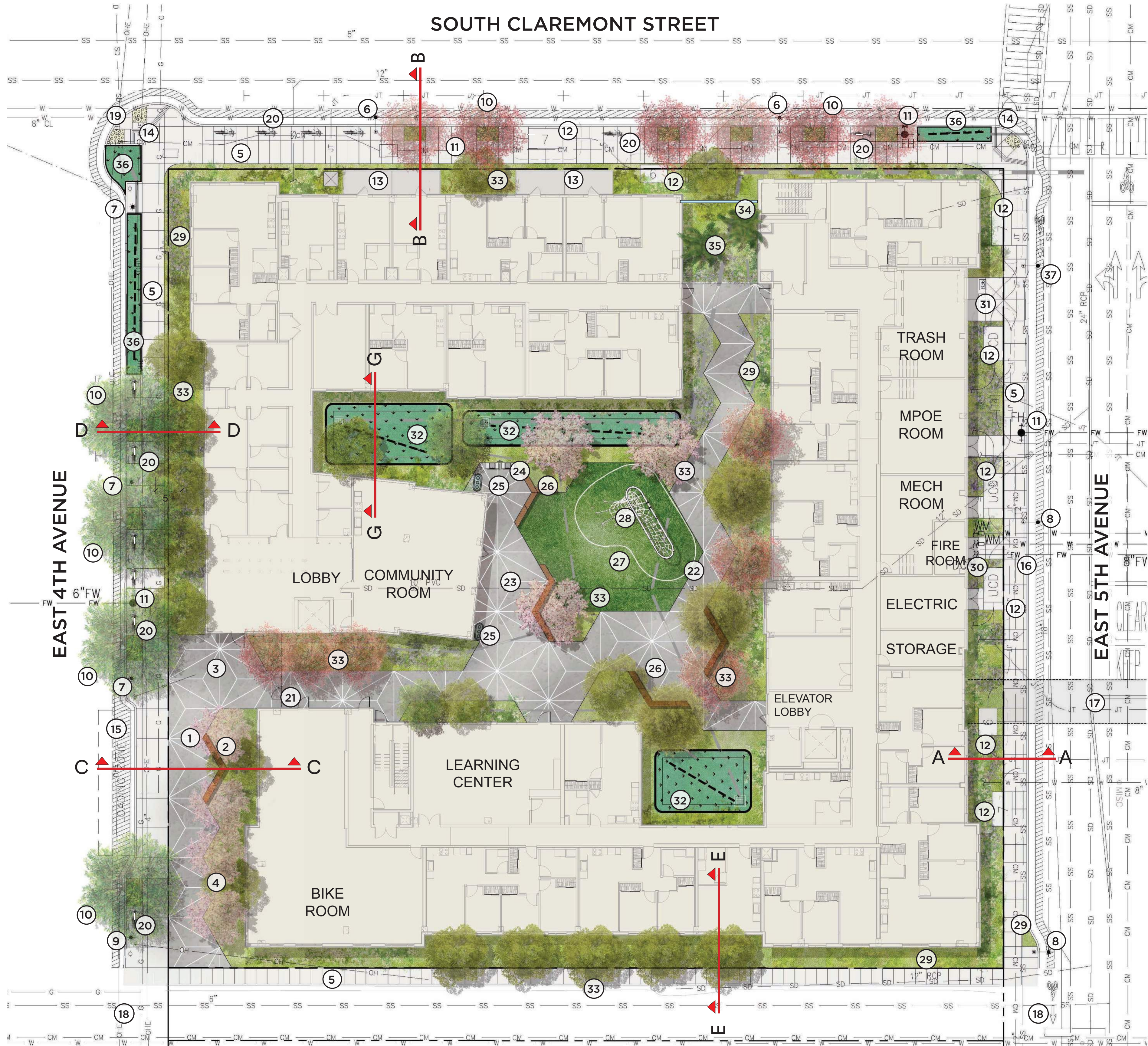
LONGITUDINAL SECTION  
N.T.S.

TREATMENT CONTROL MEASURE SUMMARY										
DRAINAGE AREA	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	PERVIOUS SURFACE x 0.1 (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS AREA (SQ. FT.)	EFFECTIVE IMPERVIOUS AREA (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY (FLOW AND/OR VOLUME GENERATED)		PROPOSED TREATMENT CONTROLS
								REQUIRED (SQ. FT.)	PROVIDED (SQ. FT.)	
DA-1	18,660	5,185	519	LANDSCAPE	13,475	13,994	ROOF CONCRETE	560	565	BIORETENTION AREA
DA-2	19,376	4,776	478	LANDSCAPE	14,600	15,078	ROOF CONCRETE	603	609	BIORETENTION AREA
DA-3	12,551	2,861	286	LANDSCAPE	9,690	9,976	ROOF CONCRETE	399	443	BIORETENTION AREA
DA-4	53,917	6,830	683	LANDSCAPE	47,087	N/A	CONCRETE	0.19 CFS	0.20 CFS	MECHANICAL TREATMENT (MEDIA FILTER) DEVICE FLOW RATE=0.20 CFS
DA-5	275	184	18	LANDSCAPE	91	N/A	CONCRETE	46	184	SELF-RETAINING AREA
DA-6	281	201	20	LANDSCAPE	80	N/A	CONCRETE	40	201	SELF-RETAINING AREA

LID TREATMENT AREA SUMMARY			
NON-LID TREATMENT AREA	47,827 SF	PERCENTAGE (65% ALLOWED)	55%
LID TREATMENT AREA	38,913 SF	PERCENTAGE	45%







SOUTH CLAREMONT STREET

EAST 4TH AVENUE

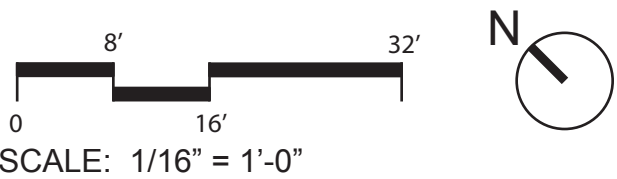
EAST 5TH AVENUE

SOUTH RAILROAD AVENUE

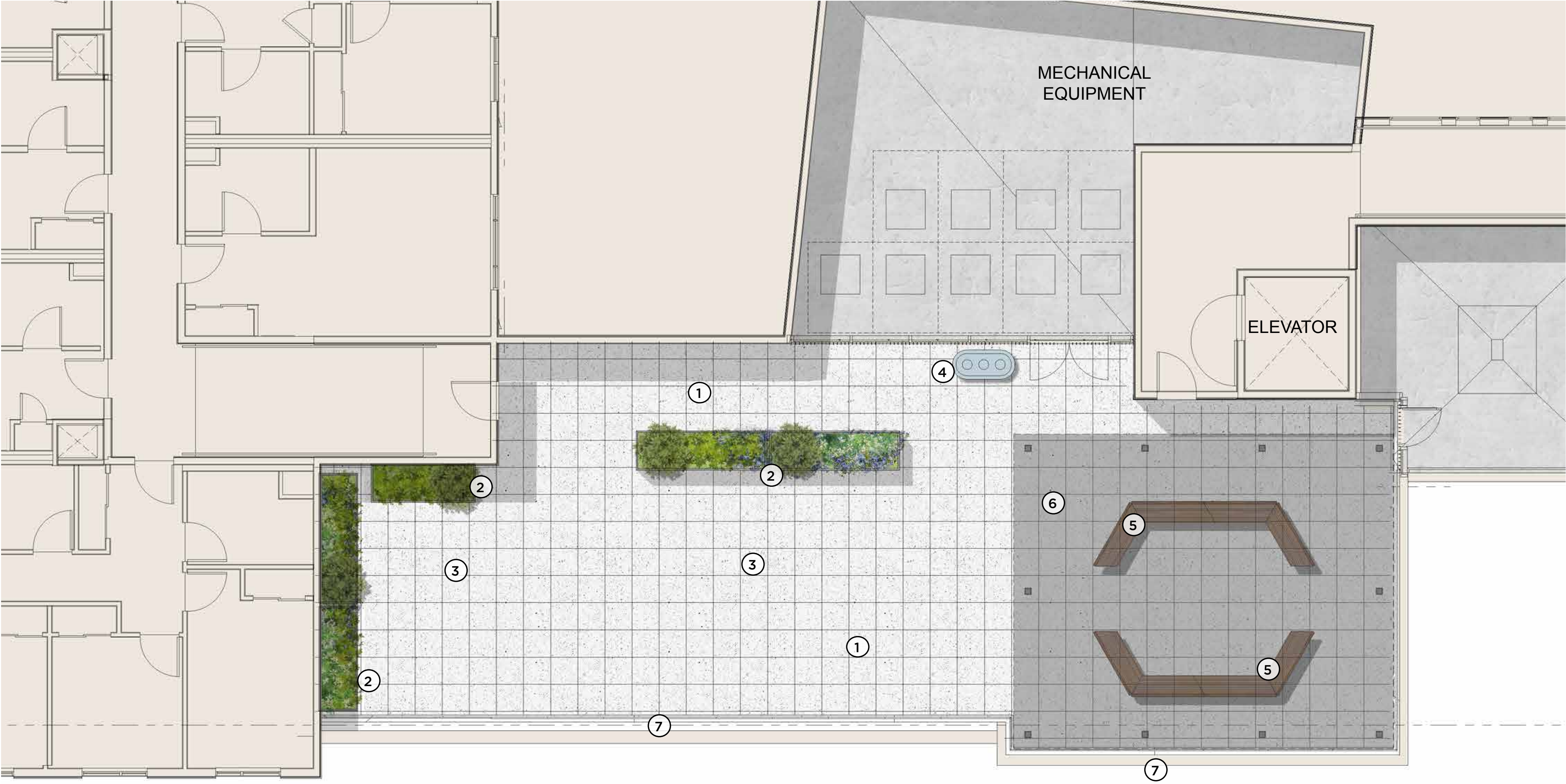
(OWNED BY PENNINSULA CORRIDOR JOINT POWERS BOARD)

LEGEND

- 1. PUBLIC PLAZA
- 2. PUBLIC SEATING AREA AT PLAZA
- 3. CONCRETE PAVING PATTERN INSPIRED BY JAPANESE ASANOHA FLORAL PATTERN
- 4. NATIVE PLANTING GARDEN W/ FLOWERING TREES (QTY OF TREES: 7)
- 5. CONCRETE SIDEWALK PAVING
- 6. EXISTING STREET LIGHT POLE
- 7. EXISTING PEDESTRIAN LIGHT POLE
- 8. RELOCATED EXISTING STREET LIGHT POLE
- 9. RELOCATED EXISTING PEDESTRIAN LIGHT POLE
- 10. STREET TREES:
  - EAST 4TH AVENUE - QUERCUS SHUMARDII (QTY: 4)
  - SOUTH CLAREMONT STREET - PRUNUS SERRULATA 'KWANZAN' (QTY: 6)
- 11. FIRE HYDRANT
- 12. TRANSFORMER / PG&E VAULT
- 13. PATIO
- 14. CURB RAMP
- 15. 10' x 40' LOADING ZONE
- 16. WATER METERS (BACKFLOW PREVENTORS LOCATED INSIDE BUILDING)
- 17. PEDESTRIAN BRIDGE ABOVE
- 18. EMERGENCY VEHICLE ACCESS
- 19. SIDEWALK BULBOUT
- 20. CLASS II SHORT TERM BIKE PARKING (TOTAL 11 BIKE RACKS)
- 21. ENTRY GATE
- 22. CONCRETE WALKWAY IN COURTYARD
- 23. COMMUNITY COURTYARD WITH BENCHES
- 24. ELECTRIC BBQ GRILL
- 25. TRASH RECEPTACLE FOR TRASH AND RECYCLING
- 26. SMALL COURTYARD SEATING WITH WOOD BENCHES
- 27. LAWN AREA WITH SYNTHETIC GRASS
- 28. PLAY AREA
- 29. PLANTING AREA W/ NATIVE AND DROUGHT TOLERANT PLANTS
- 30. ACCESS TO FIRE CONTROL ROOM
- 31. TRASH STAGING AREA
- 32. BIOSWALE
- 33. TREES IN COURTYARD AND ON-SITE PERIMETER (QTY OF TREES: 28)
- 34. GLASS WALL
- 35. COVERED PLANTING AREA
- 36. BIORETENTION PLANTER
- 37. RELOCATED EXISTING STREET LIGHT POLE WITH MEMORIAL PLAQUE TO REMAIN

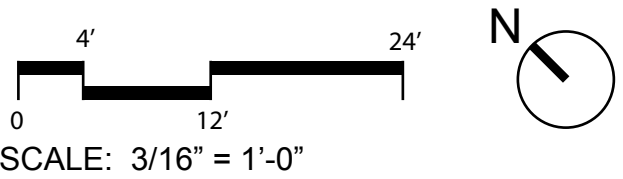




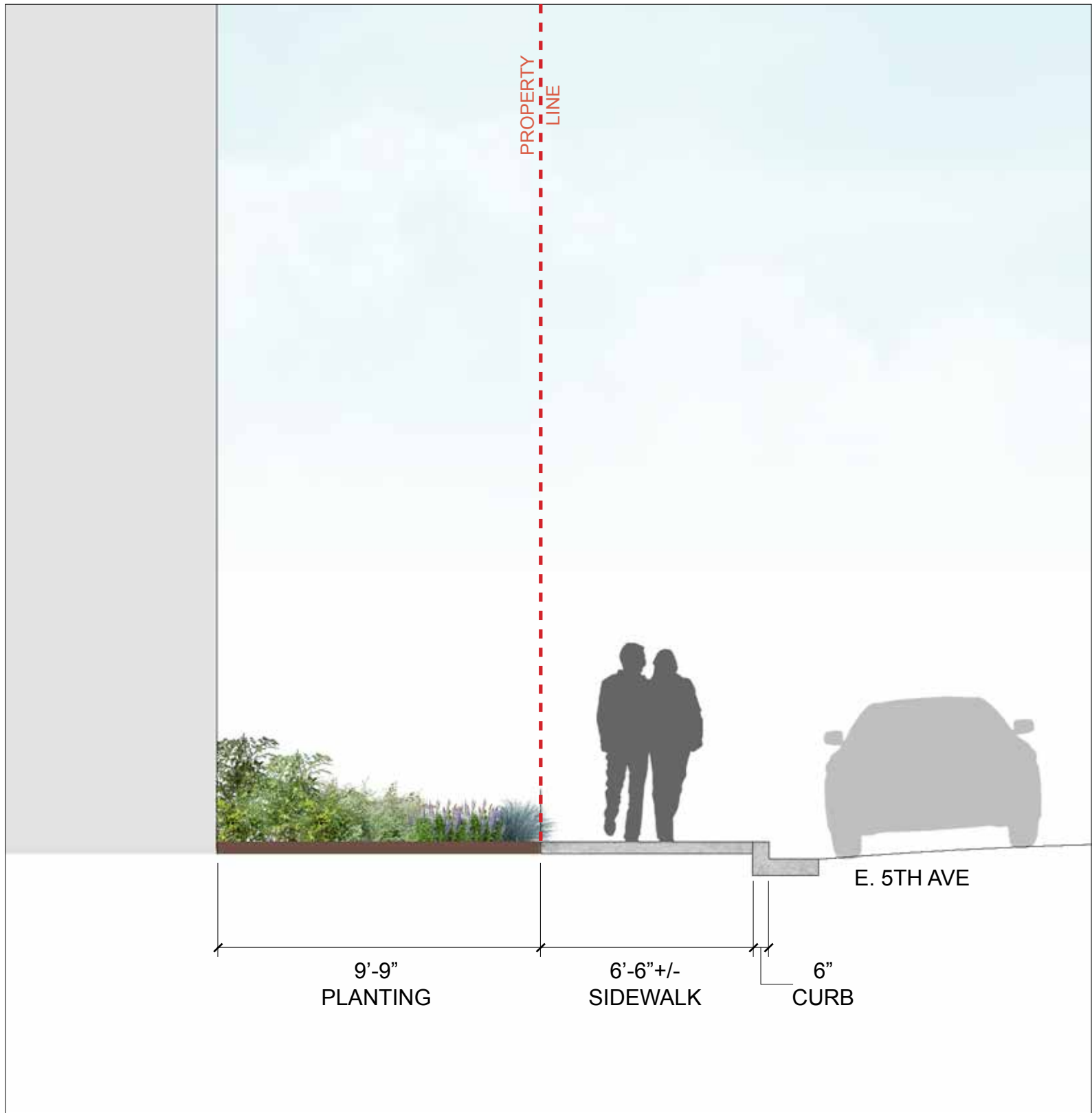


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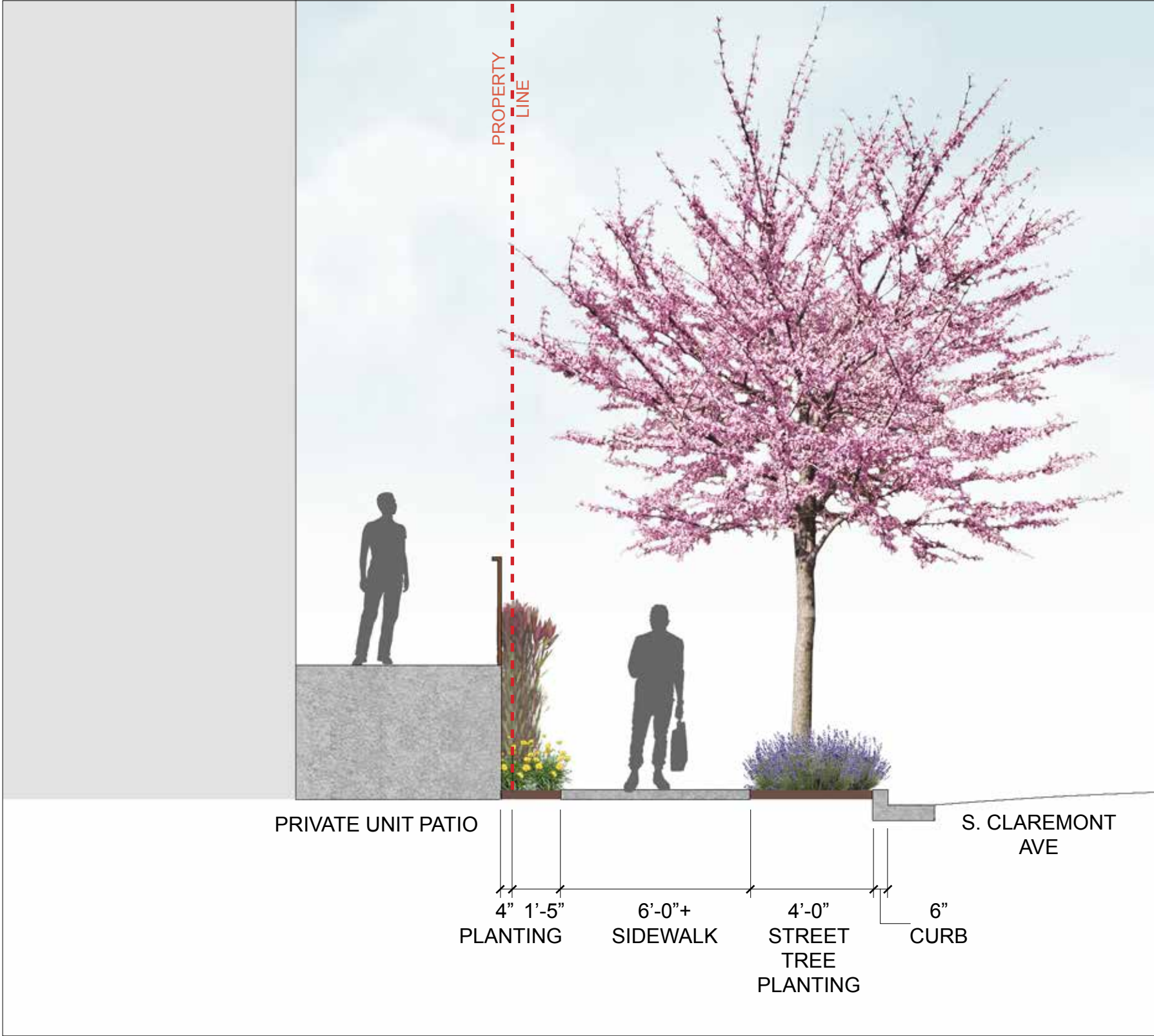
- 1. PEDESTAL PAVERS
- 2. RAISED PLANTERS
- 3. OPEN SPACE FOR FUTURE MOVABLE FURNITURE
- 4. TRASH RECEPTACLE FOR TRASH AND RECYCLING
- 5. SEATING BENCHES
- 6. OVERHEAD TRELLIS AT GATHERING SPACE
- 7. PARAPET WALL



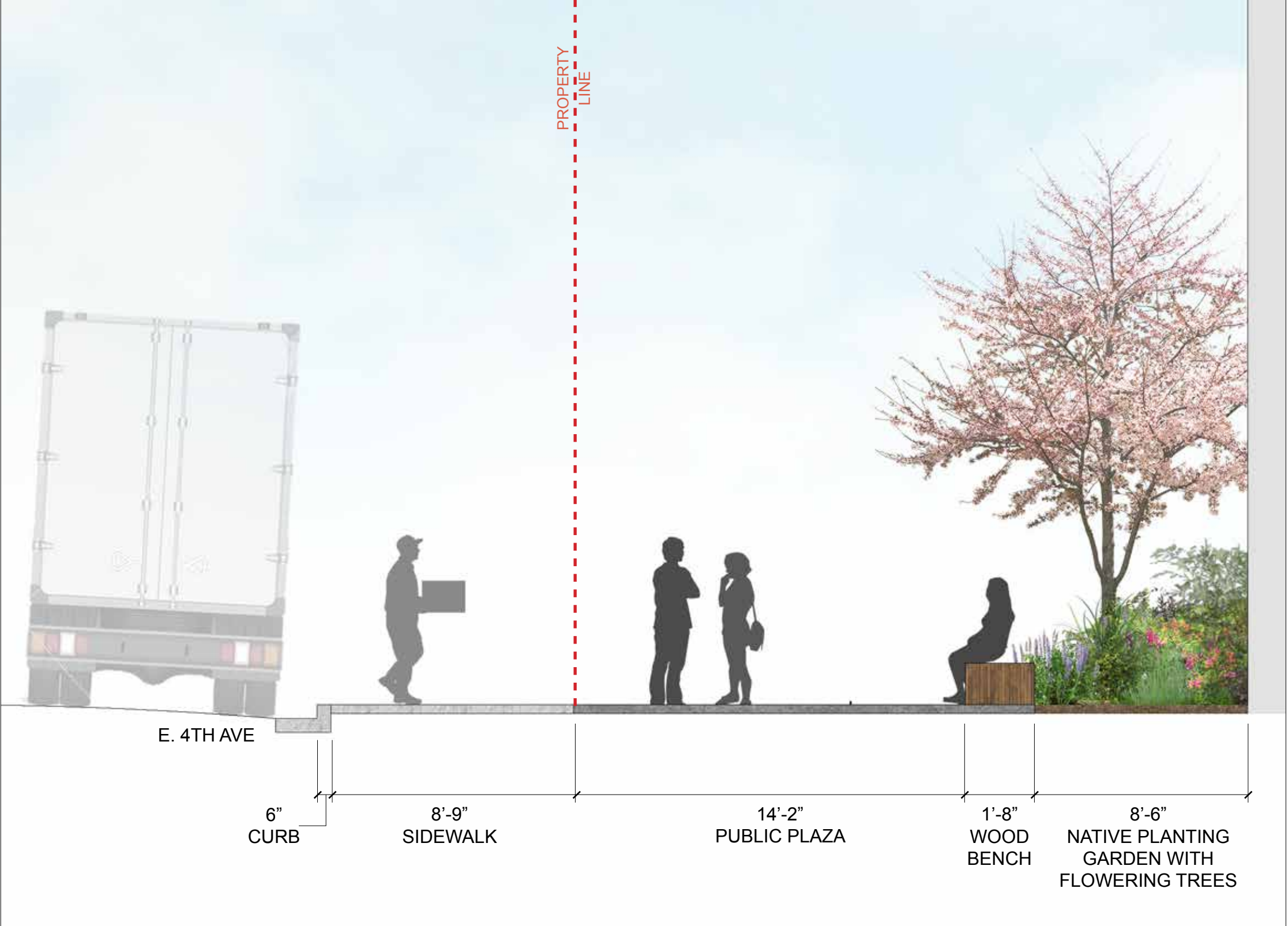




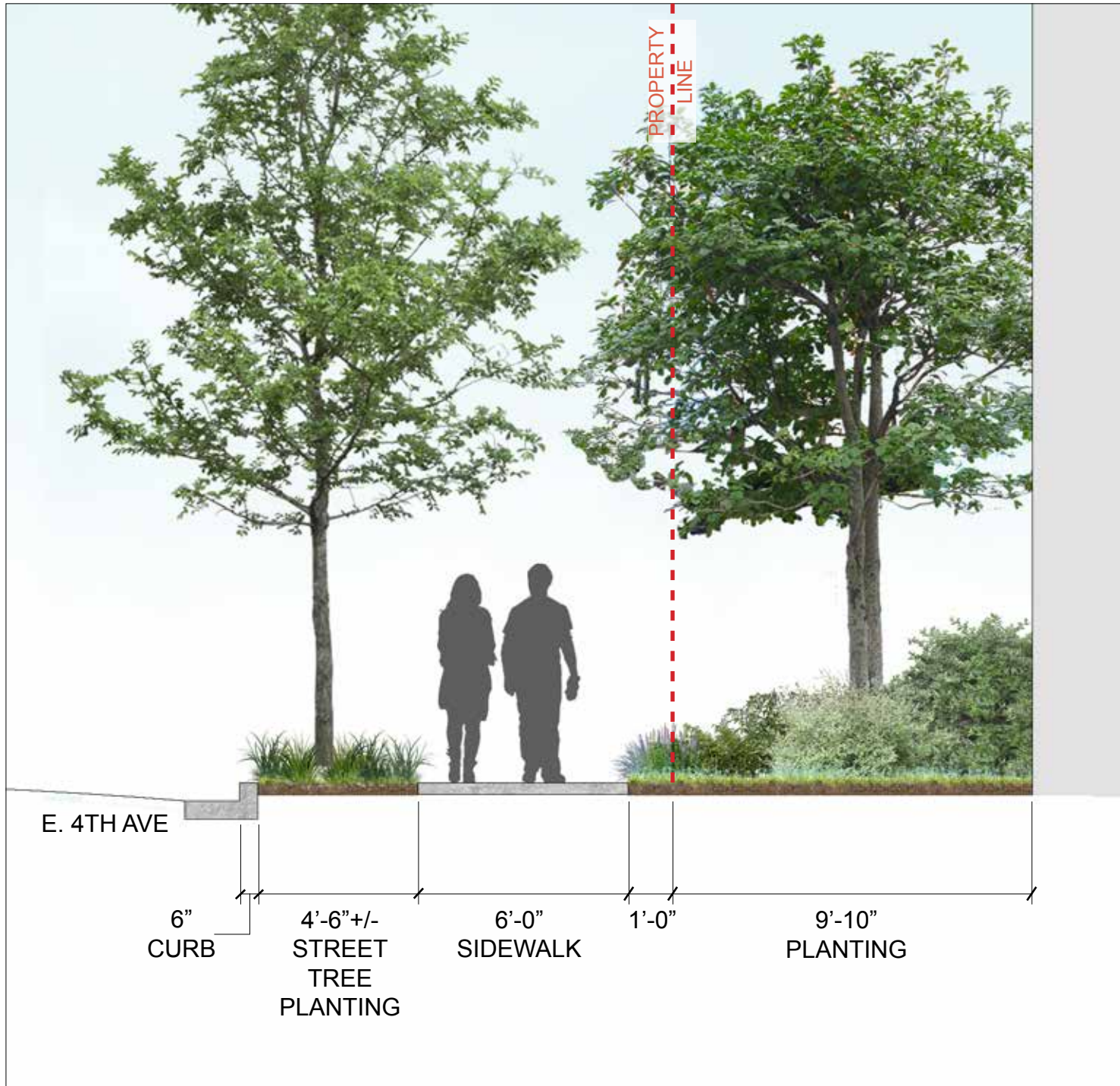
SECTION A-A: EAST 5TH AVENUE AT HOUSING LOT



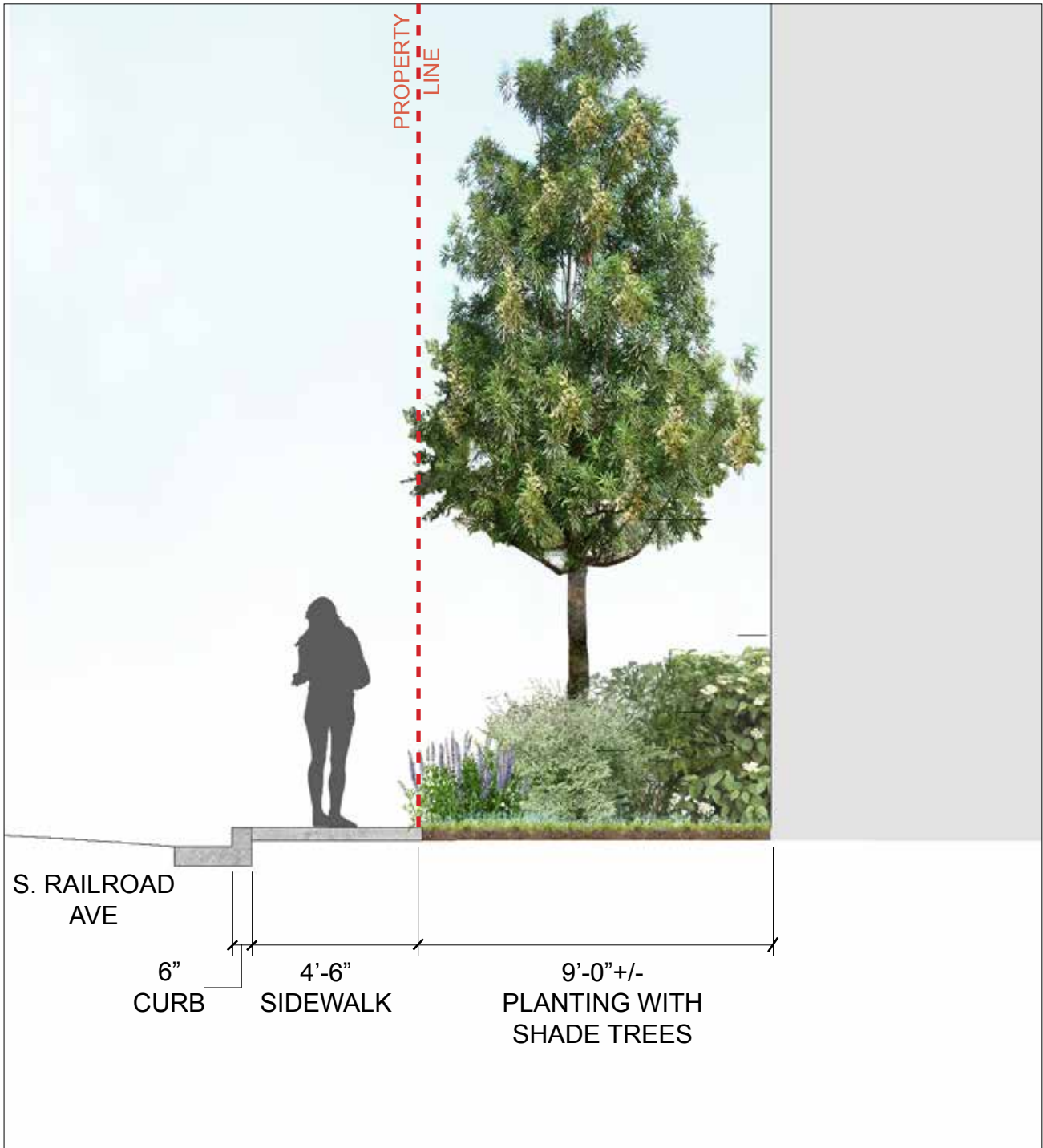
SECTION B-B: SOUTH CLAREMONT STREET



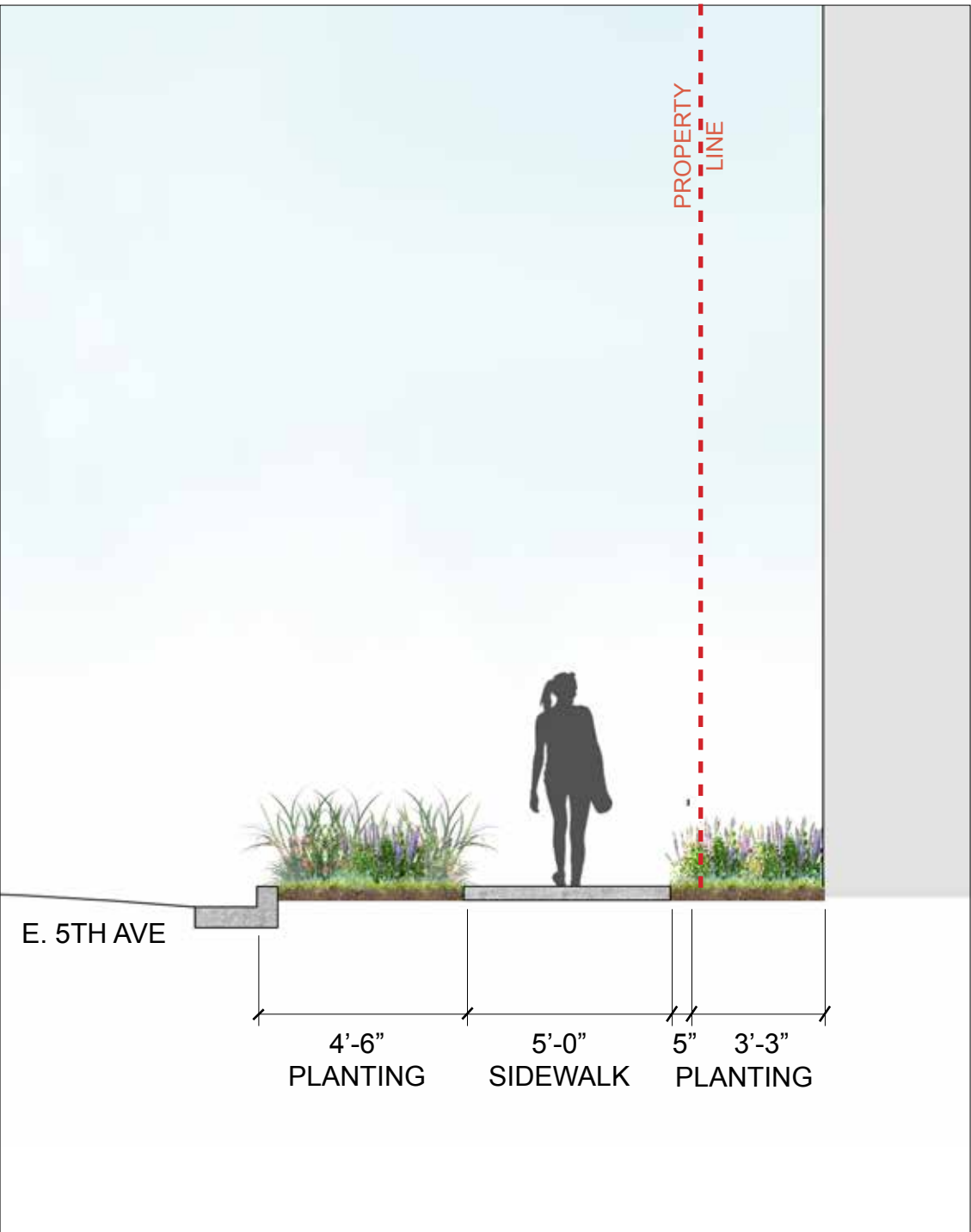
SECTION C-C: EAST 4TH AVENUE AT PLAZA



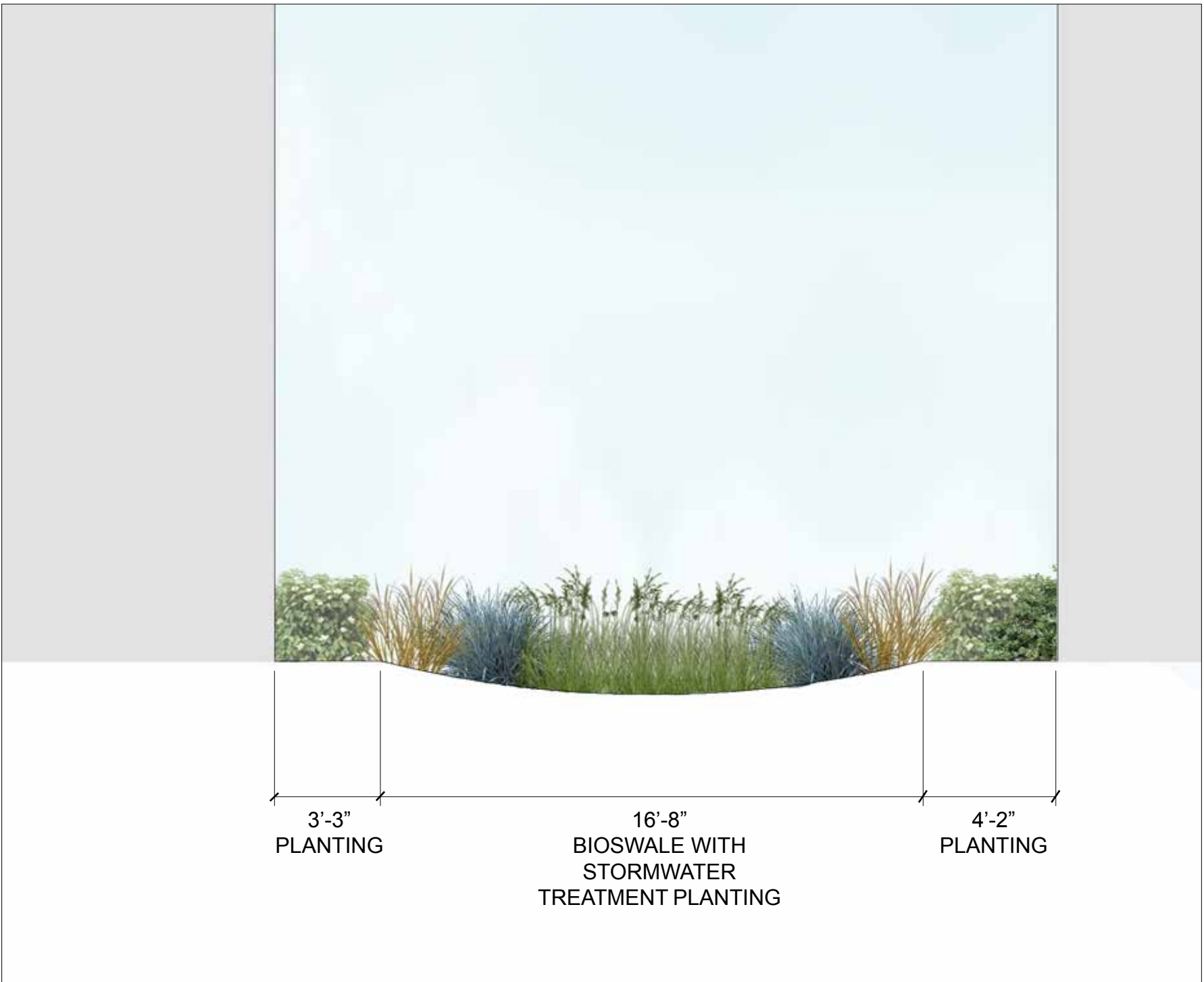
SECTION D-D: EAST 4TH AVENUE



SECTION E-E: SOUTH RAILROAD AVENUE



SECTION F-F: EAST 5TH AVENUE AT PARKING GARAGE



SECTION G-G: BIOSWALE AT HOUSING LOT









SUMMER SOLSTICE @ NOON

1" = 100'-0"



SUMMER SOLSTICE @ 1PM

1" = 100'-0"



SUMMER SOLSTICE @ 2PM

1" = 100'-0"



SPRING/FALL EQUINOX @ NOON

1" = 100'-0"



SPRING/FALL EQUINOX @ 1PM

1" = 100'-0"



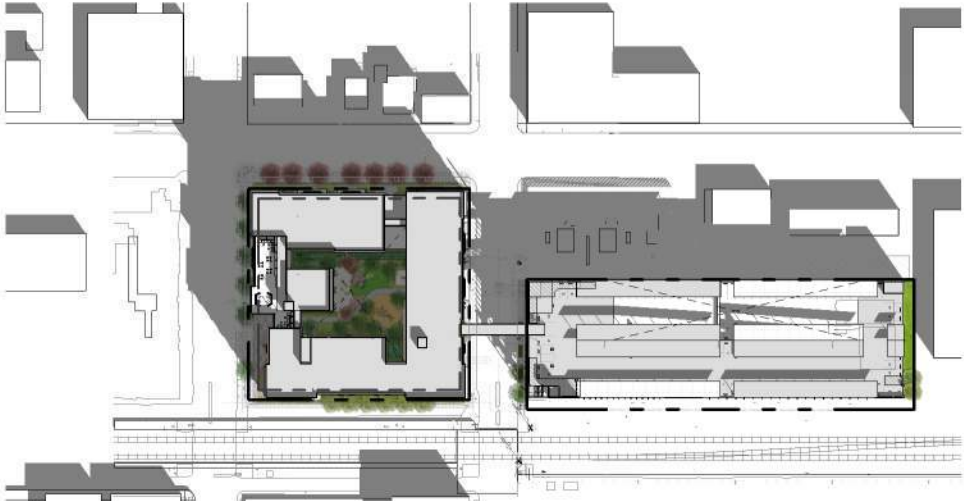
SPRING/FALL EQUINOX @ 2PM

1" = 100'-0"



WINTER SOLSTICE @ NOON

1" = 100'-0"



WINTER SOLSTICE @ 1PM

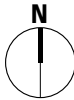
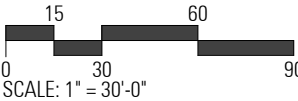
1" = 100'-0"



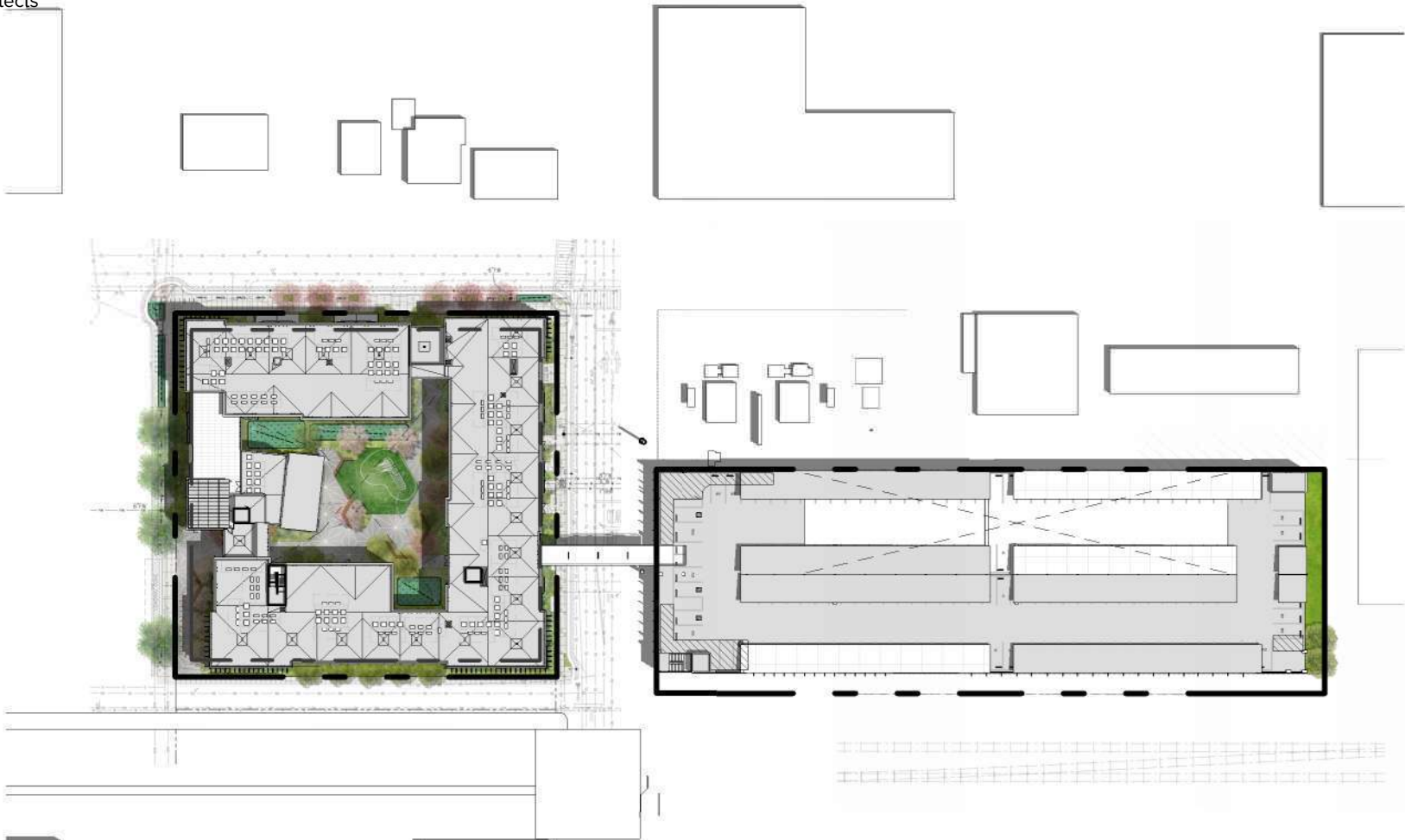
WINTER SOLSTICE @ 2PM

1" = 100'-0"

AS APPROVED

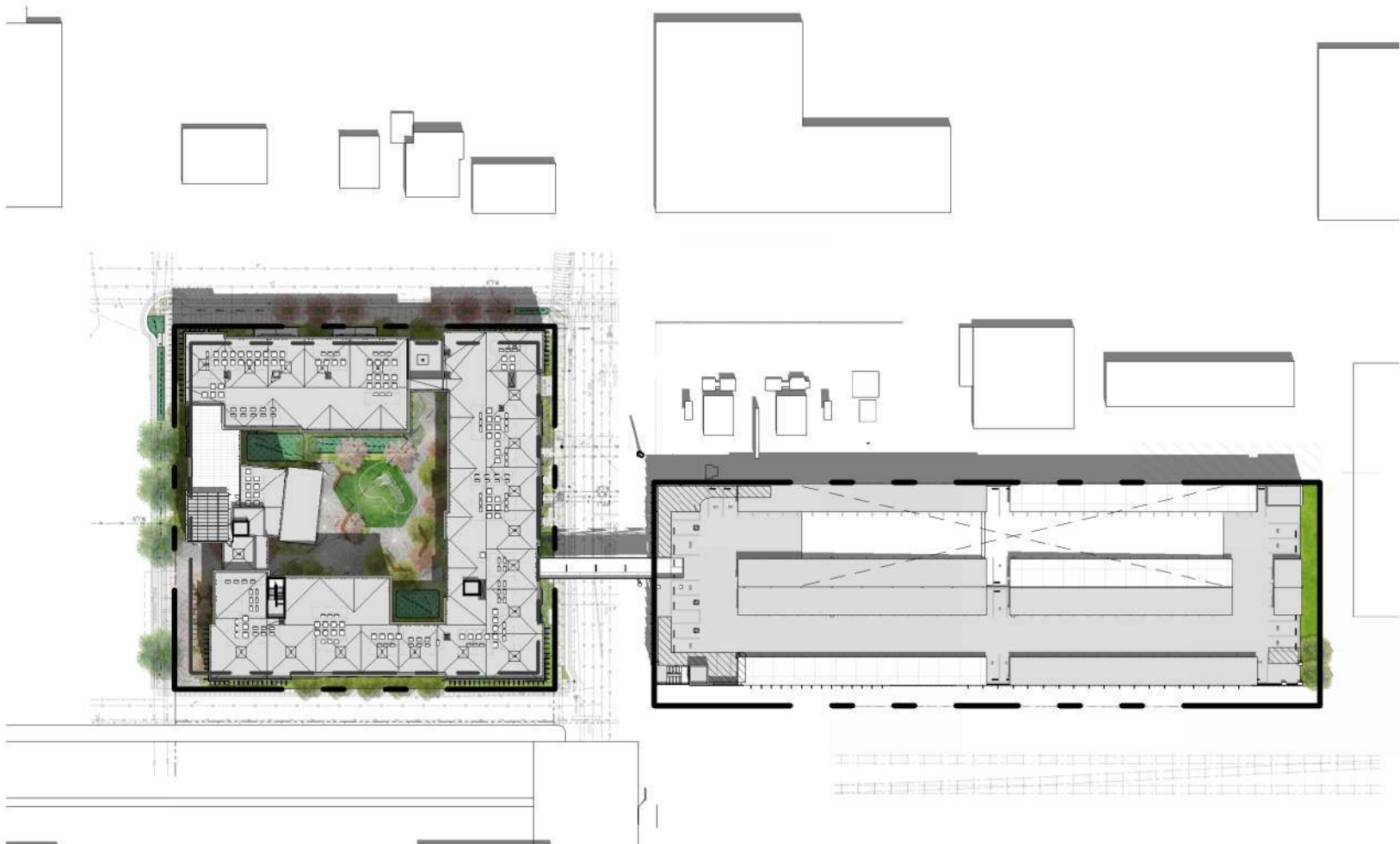






SUMMER SOLSTICE @ NOON

1" = 100'-0"



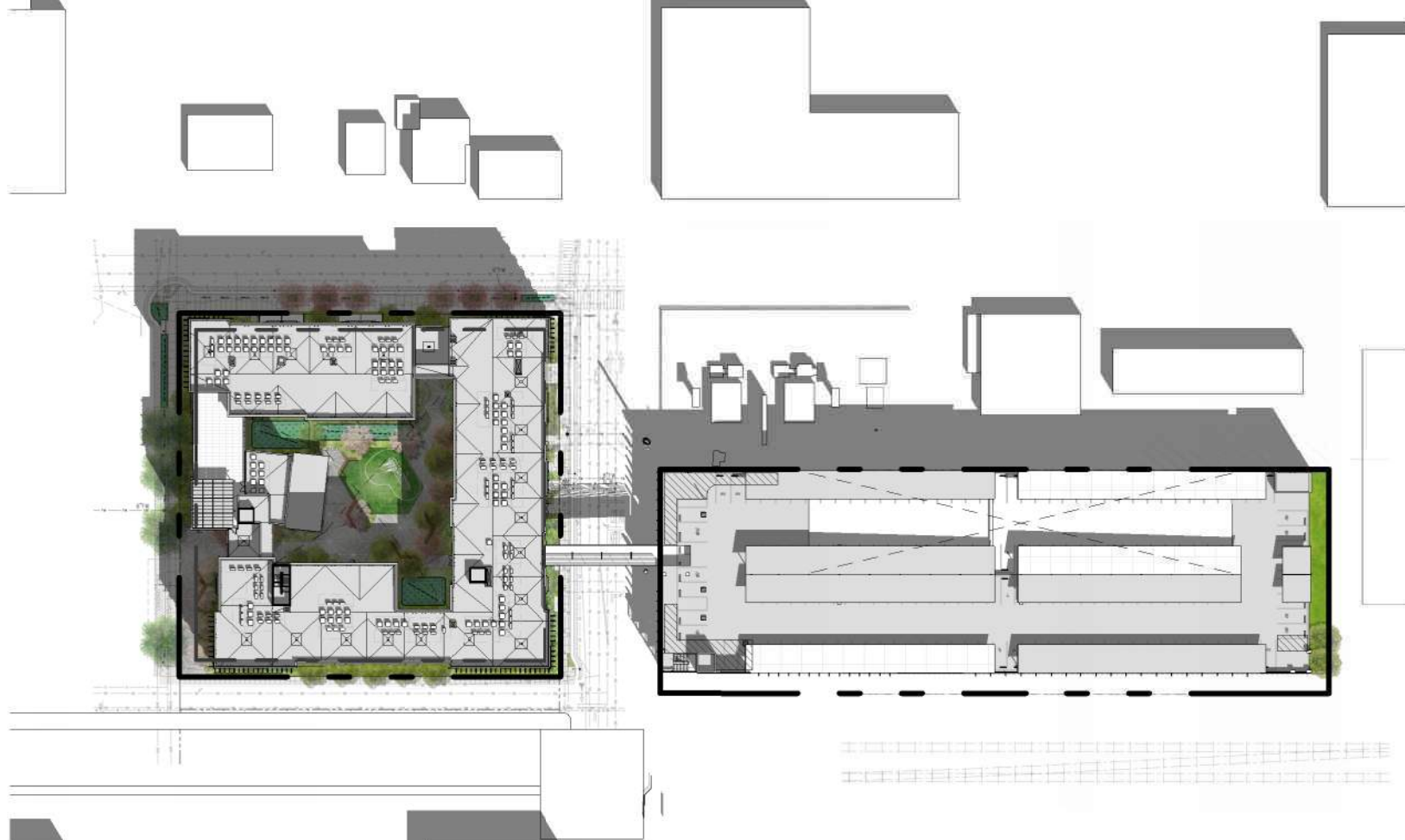
SUMMER SOLSTICE @ 1PM

1" = 100'-0"



SUMMER SOLSTICE @ 2PM

1" = 100'-0"



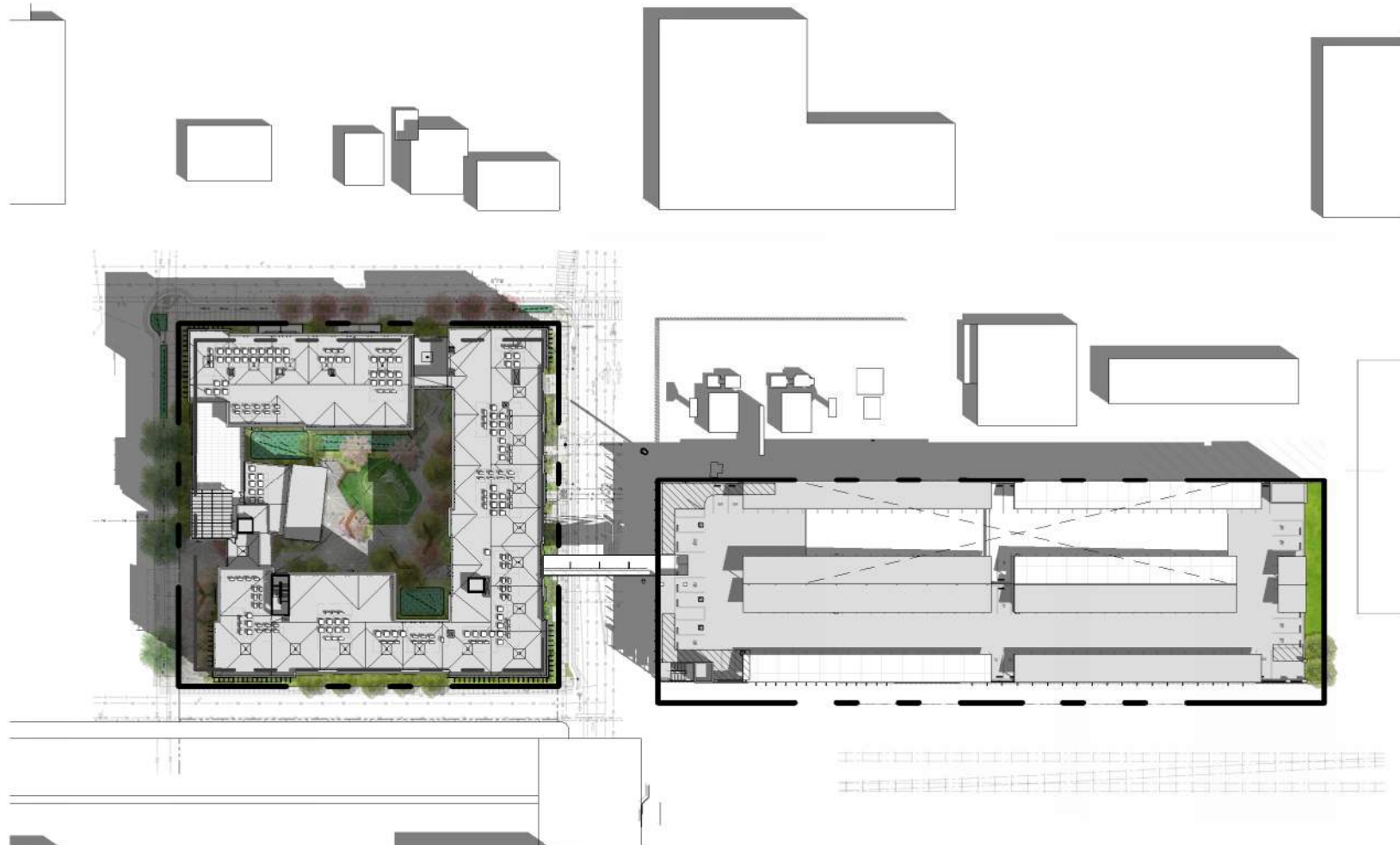
SPRING/FALL EQUINOX @ 1PM

1" = 100'-0"



SPRING/FALL EQUINOX @ 2PM

1" = 100'-0"



SPRING/FALL EQUINOX @ NOON

1" = 100'-0"



WINTER SOLSTICE @ NOON

1" = 100'-0"



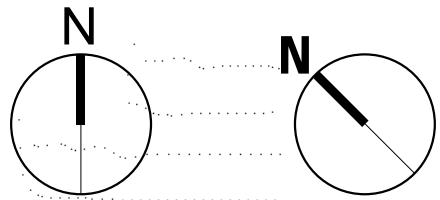
WINTER SOLSTICE @ 1PM

1" = 100'-0"



WINTER SOLSTICE @ 2PM

1" = 100'-0"



AS CURRENTLY PROPOSED

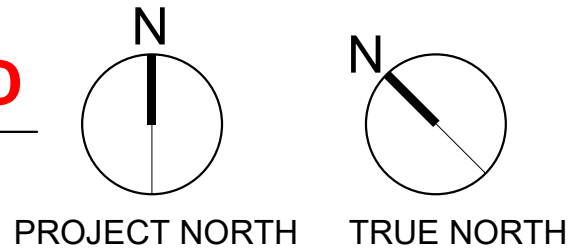
PROJECT NORTH TRUE NORTH



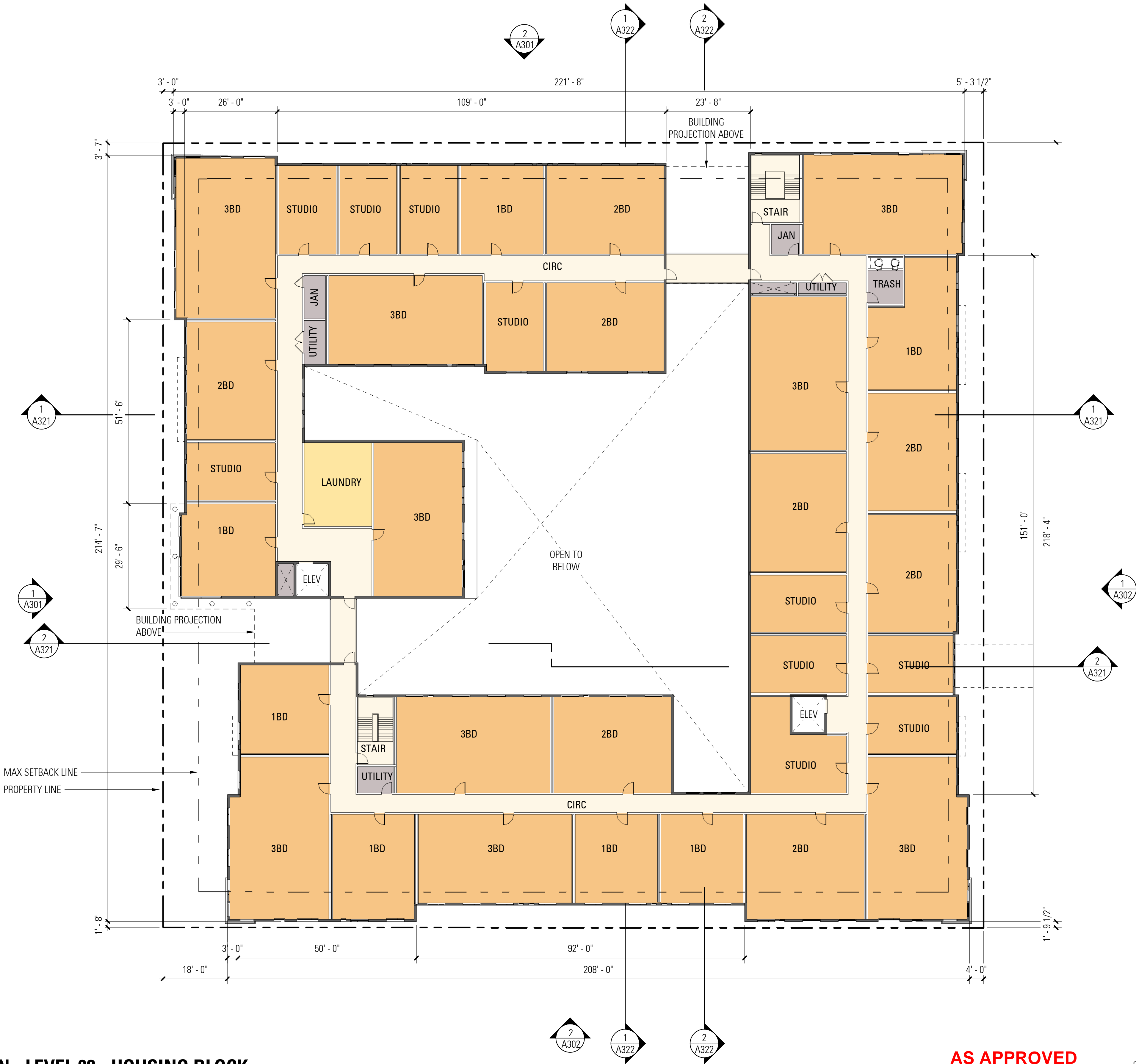




1 A201 FLOOR PLAN - LEVEL 01 - HOUSING BLOCK ENTL  
1/16" = 1'-0"







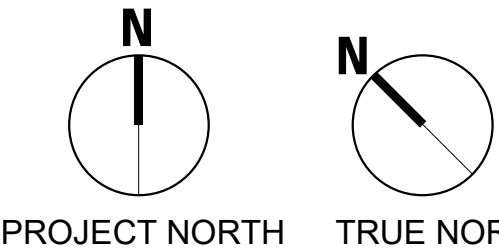
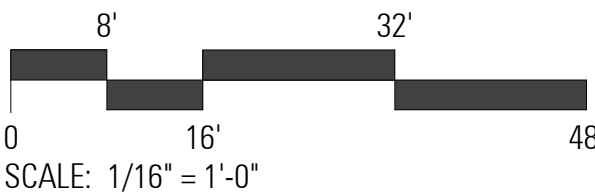
FLOOR AREA LEGEND		
	AMENITY	476.1 SF
	CIRC	3,907.1 SF*
	UNIT	27,874.9 SF
	UTILITY	586.4 SF

TOTAL NET FLOOR AREA  
32,844.5 SF

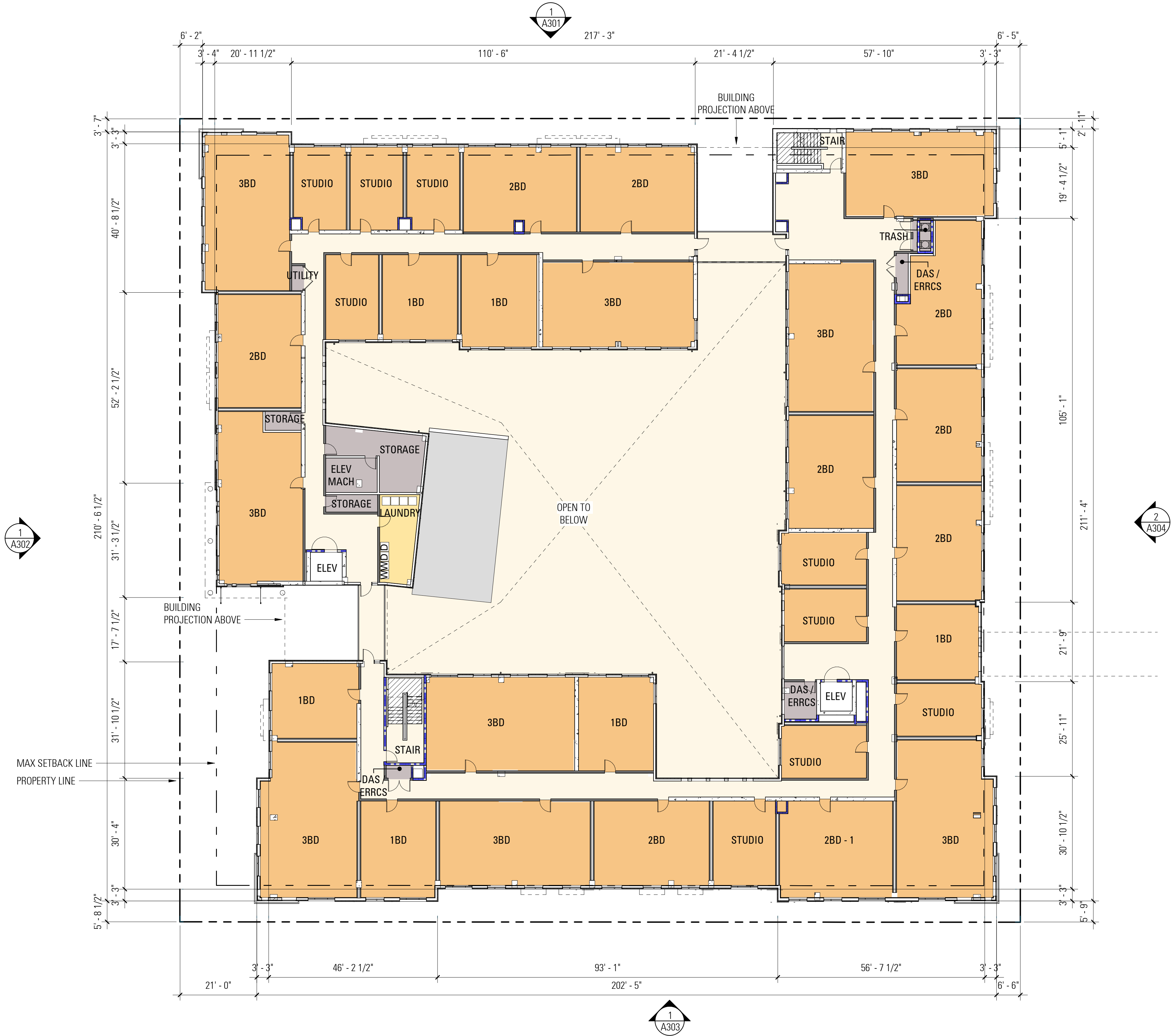
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1  
A202  
FLOOR PLAN - LEVEL 02 - HOUSING BLOCK  
1/16" = 1'-0"

AS APPROVED







FLOOR AREA LEGEND

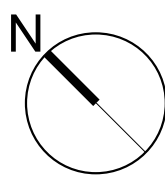
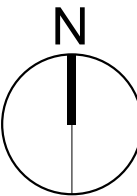
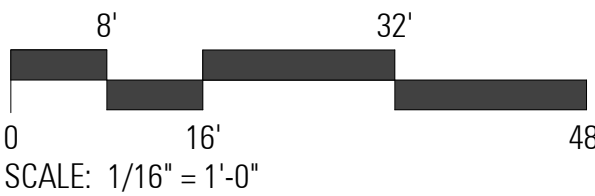
AMENITY	275.3 SF
CIRC	4,522.9 SF*
UNIT	23,913.3 SF
UTILITY	868.2 SF

TOTAL NET FLOOR AREA  
29,579.7 SF

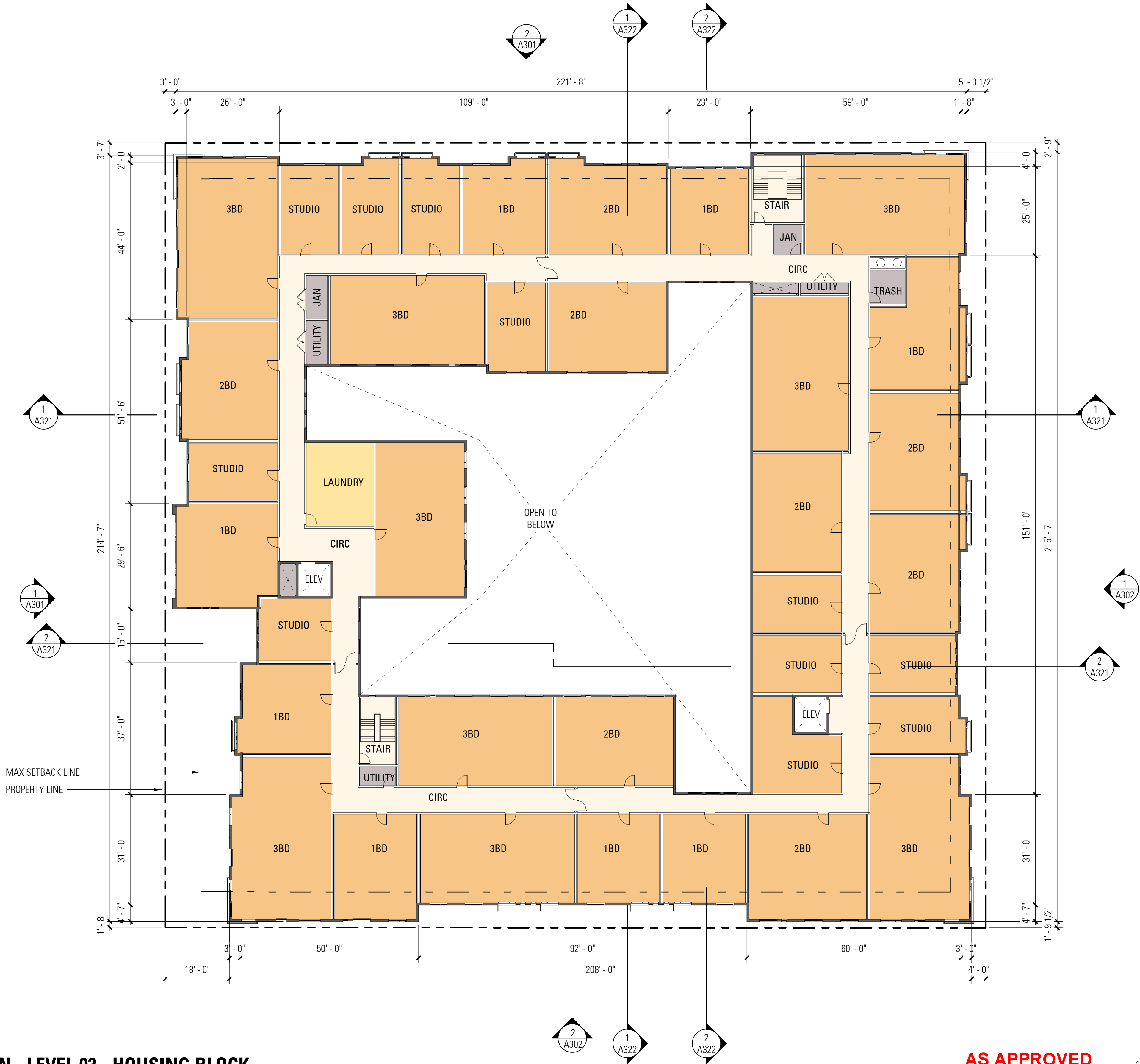
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1  
A202  
FLOOR PLAN - LEVEL 02 - HOUSING BLOCK ENTL  
1/16" = 1'-0"

AS CURRENTLY PROPOSED







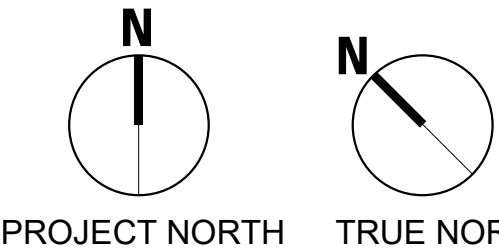
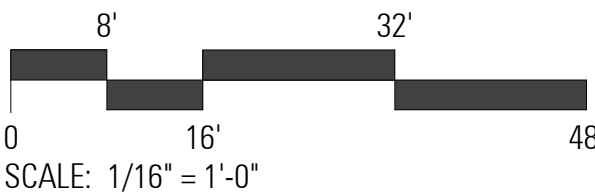
FLOOR AREA LEGEND		
AMENITY	476.1 SF	
CIRC	4,578.8 SF*	
UNIT	28,909.6 SF	
UTILITY	564.9 SF	

TOTAL NET FLOOR AREA  
34,529.4 SF

\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

**FLOOR PLAN - LEVEL 03 - HOUSING BLOCK**  
1 A203 1/16" = 1'-0"

AS APPROVED







FLOOR AREA LEGEND

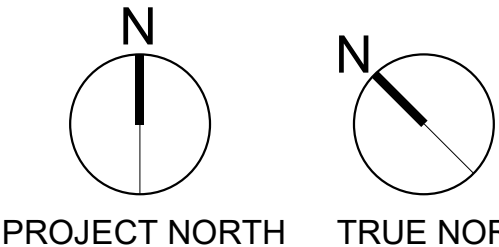
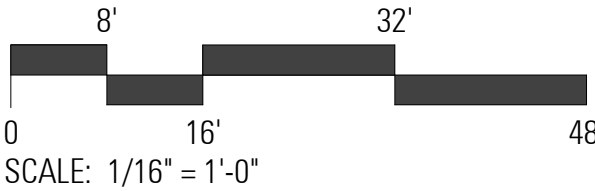
AMENITY	293.8 SF
CIRC	4,865.3 SF*
UNIT	25,641.3 SF
UTILITY	413.8 SF

TOTAL NET FLOOR AREA  
31,214.1 SF

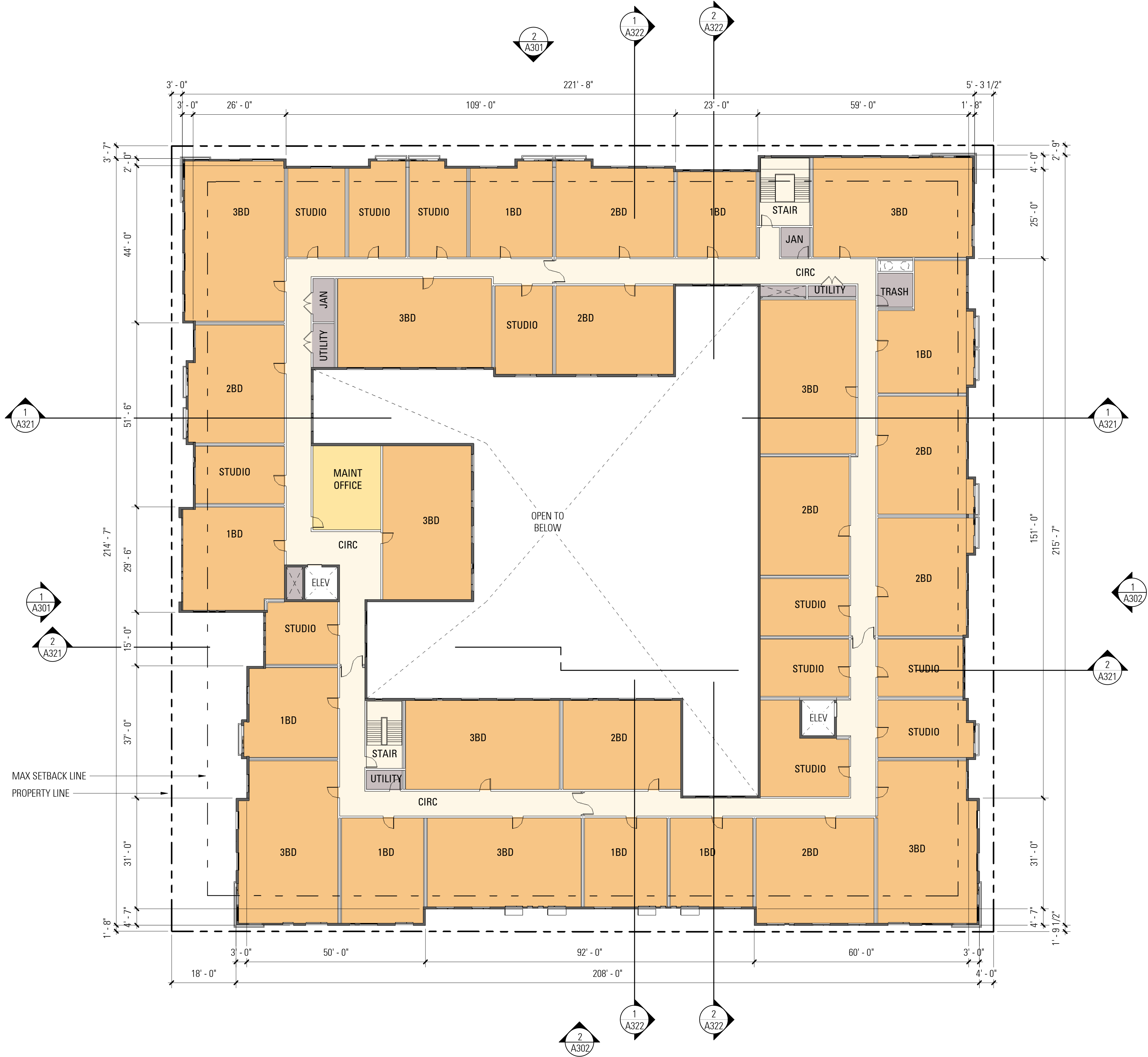
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1  
A203  
FLOOR PLAN - LEVEL 03 - HOUSING BLOCK ENTL  
1/16" = 1'-0"

AS CURRENTLY PROPOSED







FLOOR AREA LEGEND

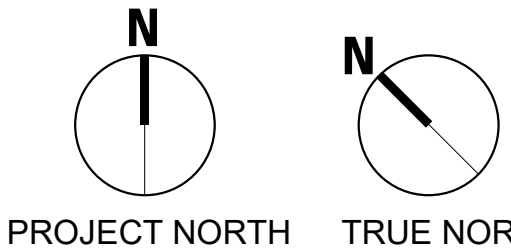
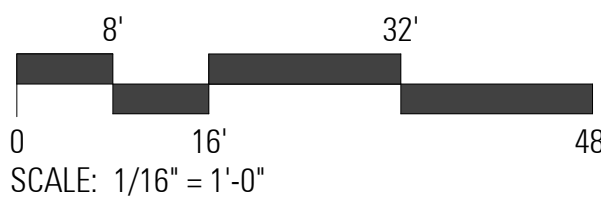
AMENITY	476.1 SF
CIRC	4,578.8 SF*
UNIT	28,909.6 SF
UTILITY	564.9 SF

TOTAL NET FLOOR AREA  
34,529.4 SF

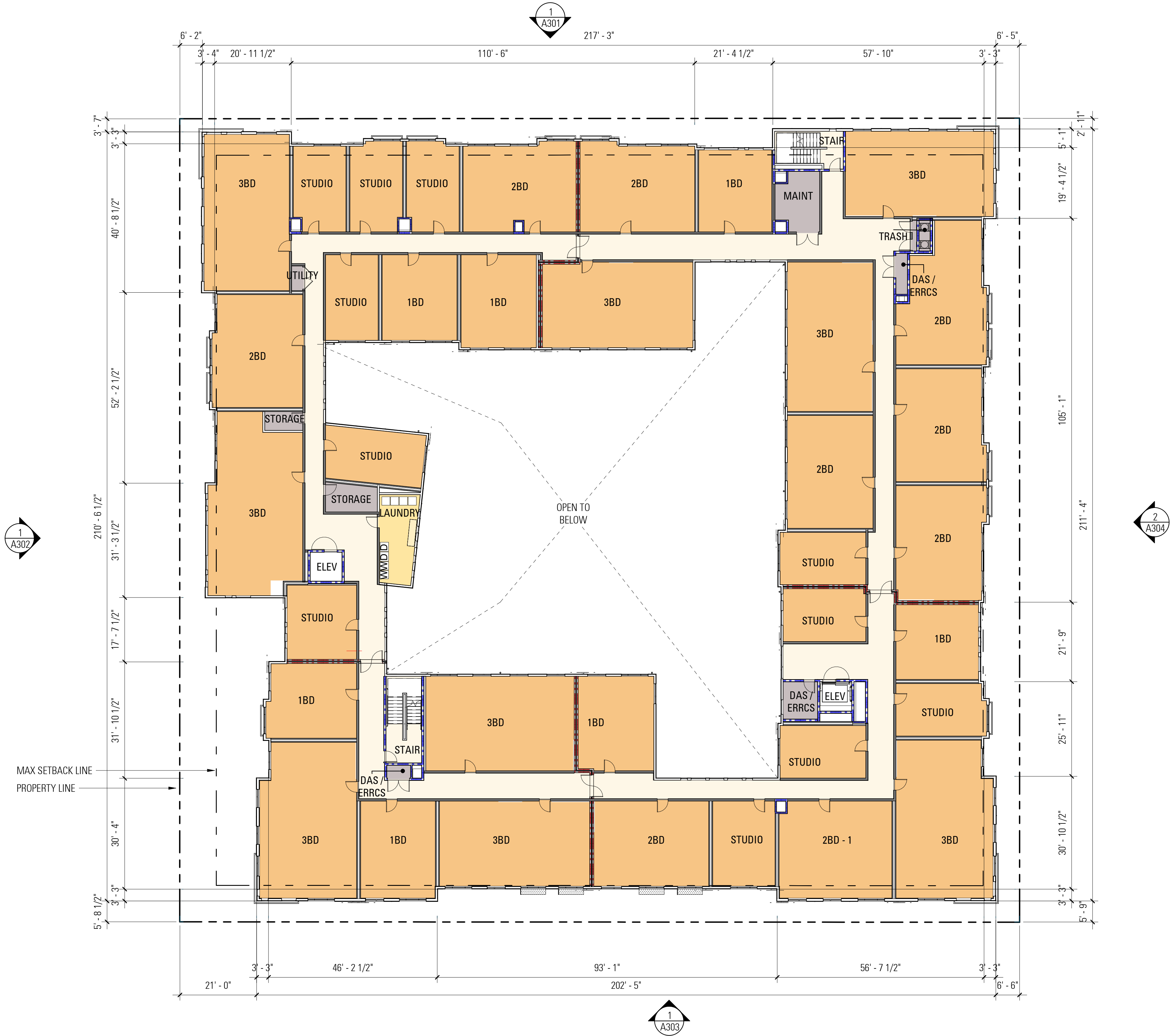
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1 A204 FLOOR PLAN - LEVEL 04 - HOUSING BLOCK  
1/16" = 1'-0"

AS APPROVED







FLOOR AREA LEGEND

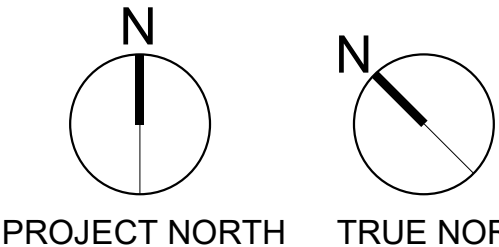
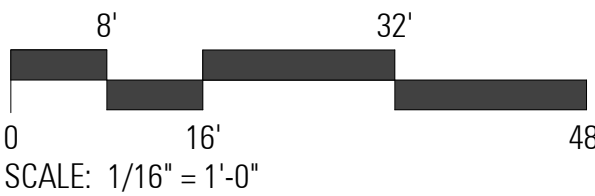
AMENITY	293.8 SF
CIRC	4,643.5 SF*
UNIT	25,639.6 SF
UTILITY	636.8 SF

TOTAL NET FLOOR AREA  
31,213.6 SF

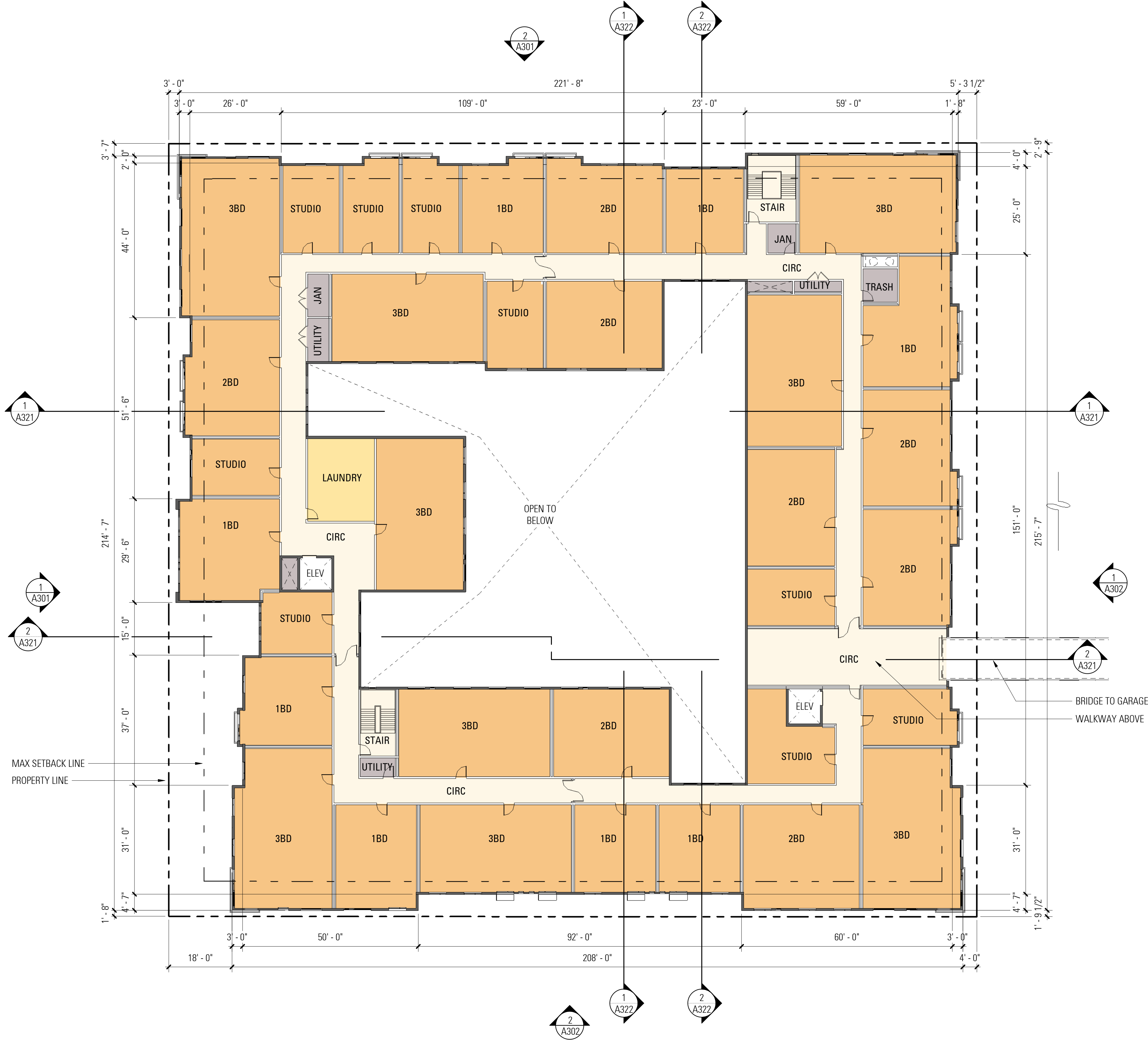
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1  
A204  
FLOOR PLAN - LEVEL 04 - HOUSING BLOCK ENTL  
1/16" = 1'-0"

AS CURRENTLY PROPOSED







**FLOOR AREA LEGEND**

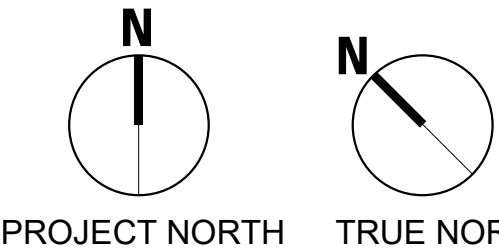
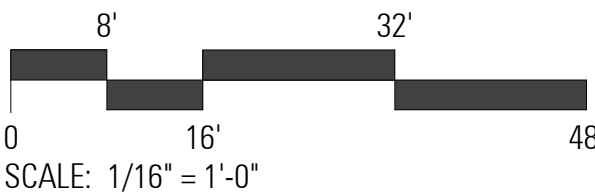
AMENITY	476.1 SF
CIRC	5,442.1 SF*
UNIT	28,046.9 SF
UTILITY	564.4 SF

TOTAL NET FLOOR AREA  
34,529.4 SF

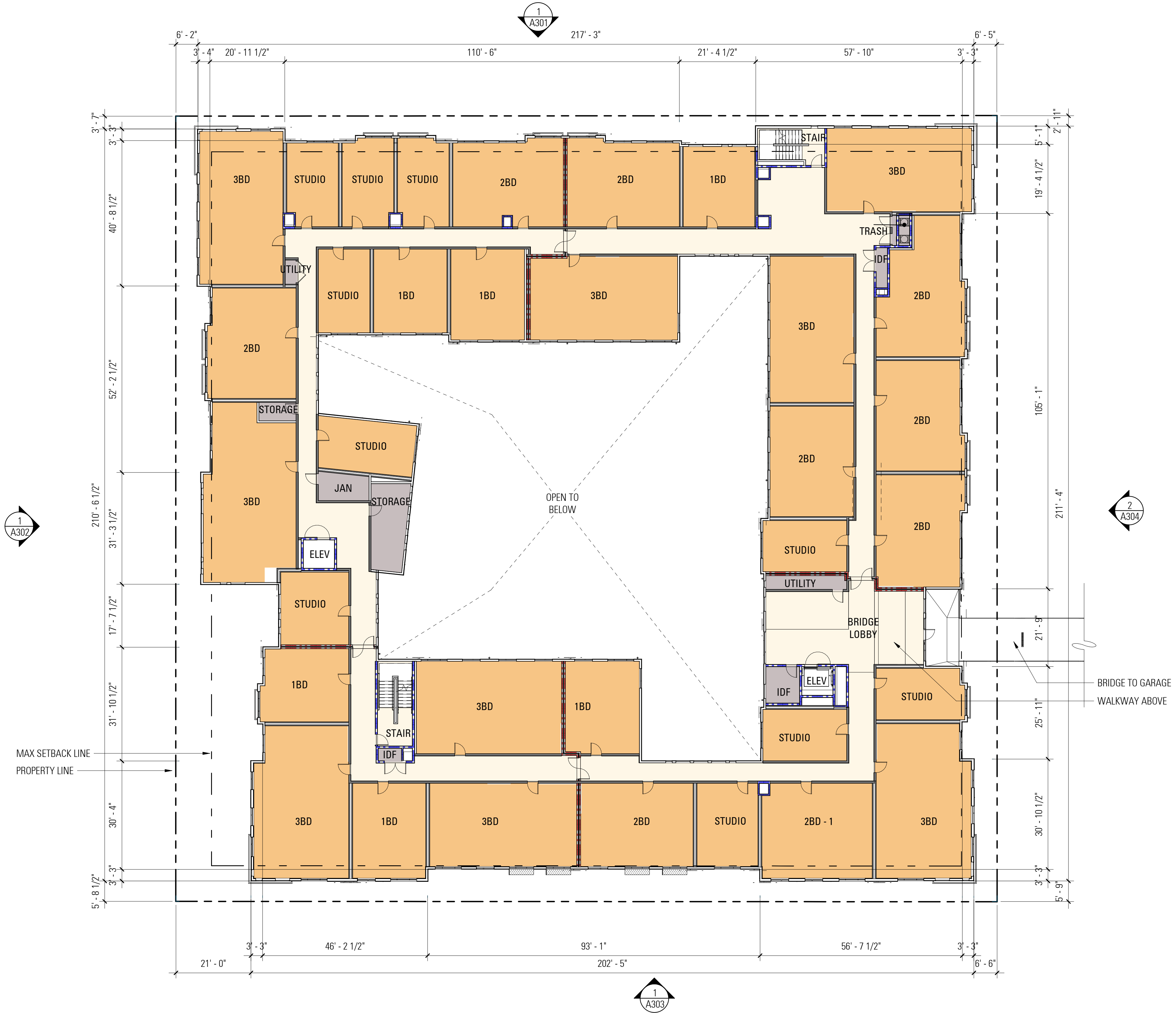
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

**FLOOR PLAN - LEVEL 05 - HOUSING BLOCK**  
1 A205 1/16" = 1'-0"

**AS APPROVED**







FLOOR AREA LEGEND

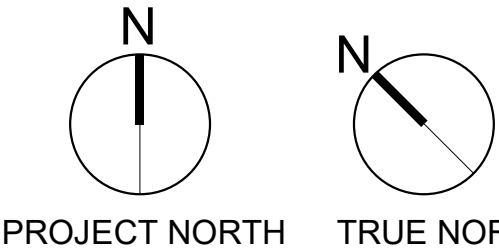
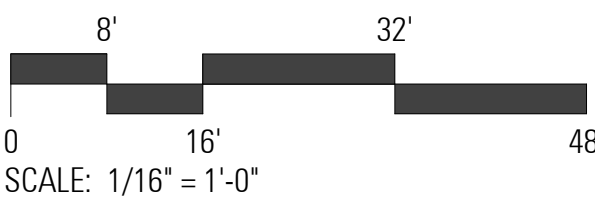
CIRC	5,491.4 SF*
UNIT	24,777.3 SF
UTILITY	817.6 SF

TOTAL NET FLOOR AREA  
31,086.2 SF

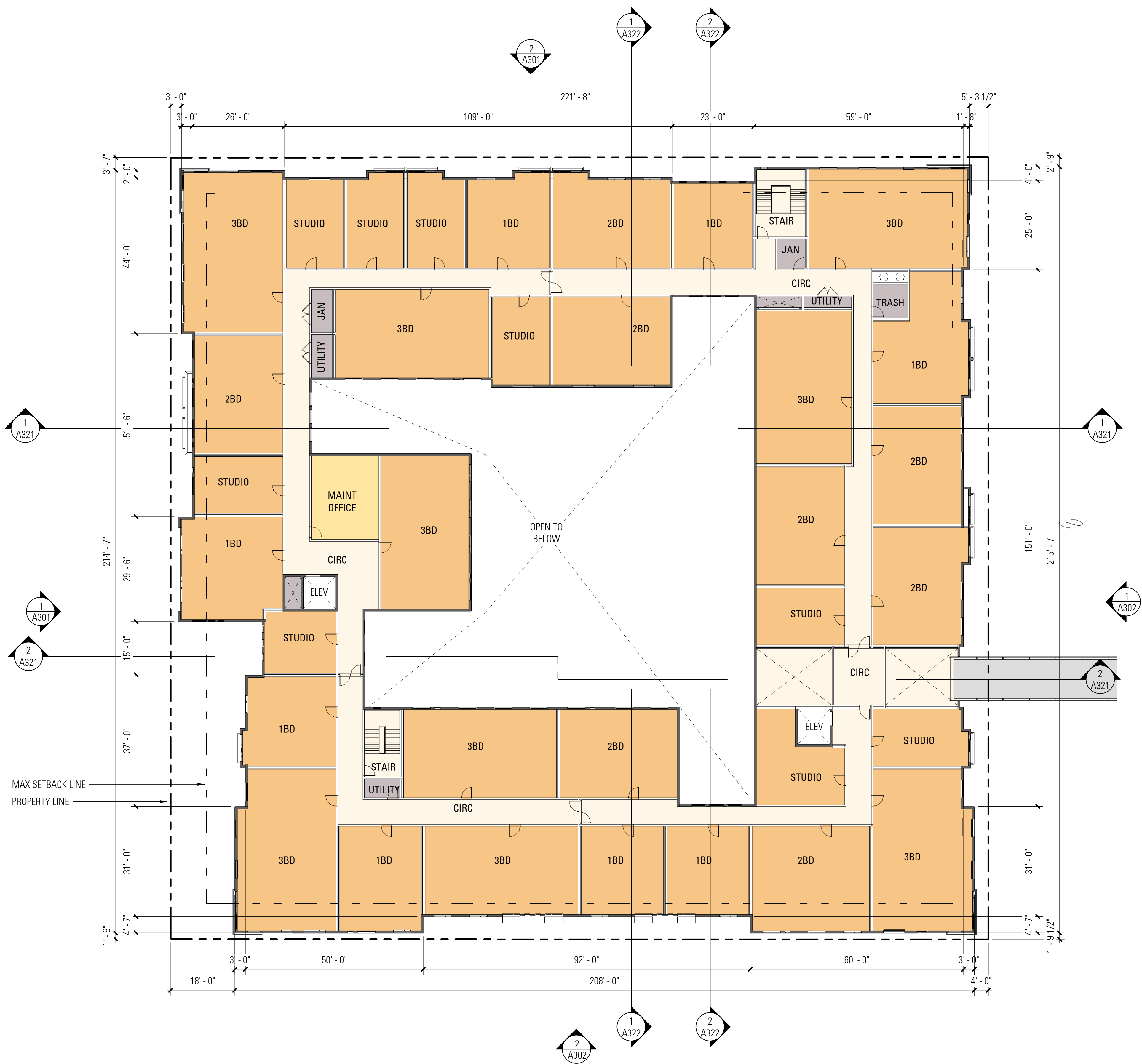
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1  
A205  
FLOOR PLAN - LEVEL 05 - HOUSING BLOCK ENT  
1/16" = 1'-0"

AS CURRENTLY PROPOSED







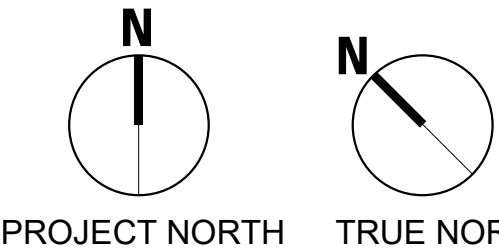
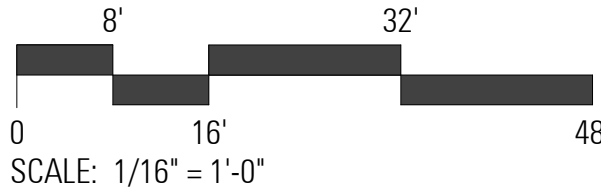
FLOOR AREA LEGEND		
AMENITY	476.1 SF	
CIRC	5,442.1 SF*	
UNIT	27,999.8 SF	
UTILITY	564.4 SF	

TOTAL NET FLOOR AREA  
34,482.4 SF

\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

**FLOOR PLAN - LEVEL 06 - HOUSING BLOCK**

**AS APPROVED**







FLOOR AREA LEGEND

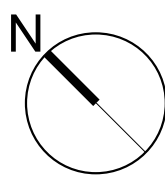
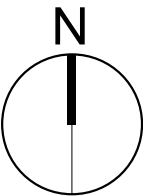
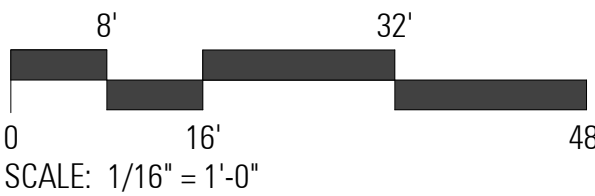
AMENITY	293.9 SF
CIRC	5,108.9 SF*
UNIT	24,744.7 SF
UTILITY	523.7 SF

TOTAL NET FLOOR AREA  
30,671.2 SF

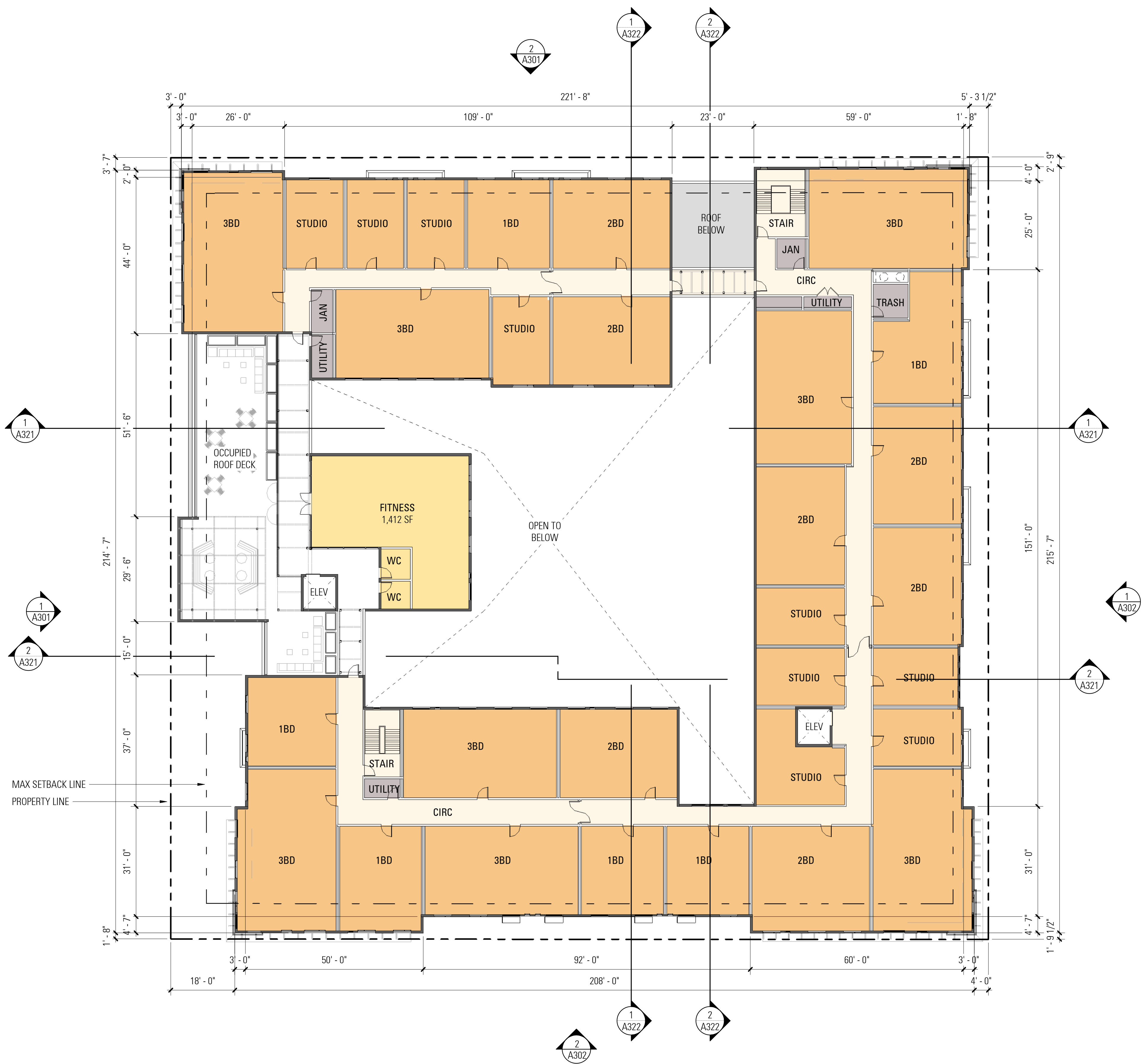
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1 FLOOR PLAN - LEVEL 06 - HOUSING BLOCK ENTL  
A206 1/16" = 1'-0"

AS CURRENTLY PROPOSED







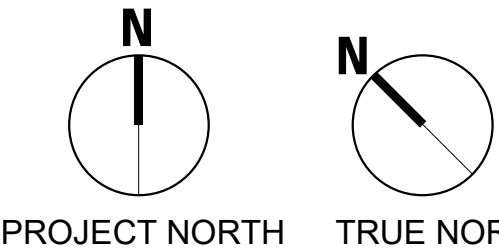
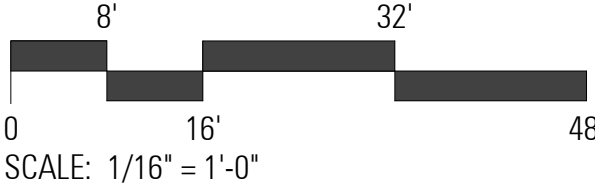
FLOOR AREA LEGEND		
AMENITY	4,187.7 SF	
CIRC	3,418.6 SF*	
UNIT	24,307.8 SF	
UTILITY	568.4 SF	

TOTAL NET FLOOR AREA  
32,482.5 SF

\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

**FLOOR PLAN - LEVEL 07 - HOUSING BLOCK**  
1/16" = 1'-0"

AS APPROVED







FLOOR AREA LEGEND

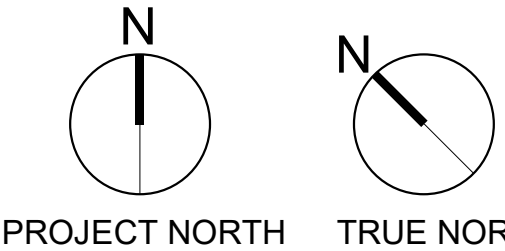
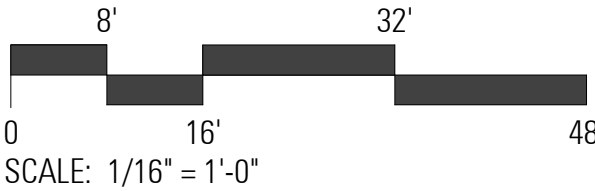
AMENITY	2,417.8 SF
CIRC	4,769.4 SF*
UNIT	21,957.6 SF
UTILITY	264.3 SF

TOTAL NET FLOOR AREA  
29,409.1 SF

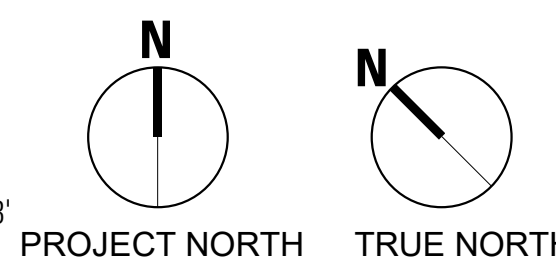
\*ELEVATOR AND STAIR SHAFTS  
ABOVE GRADE EXEMPT FROM  
AREA, SEE SHEETS G002 & G512

1 A207 FLOOR PLAN - LEVEL 07 - HOUSING BLOCK ENTL  
1/16" = 1'-0"

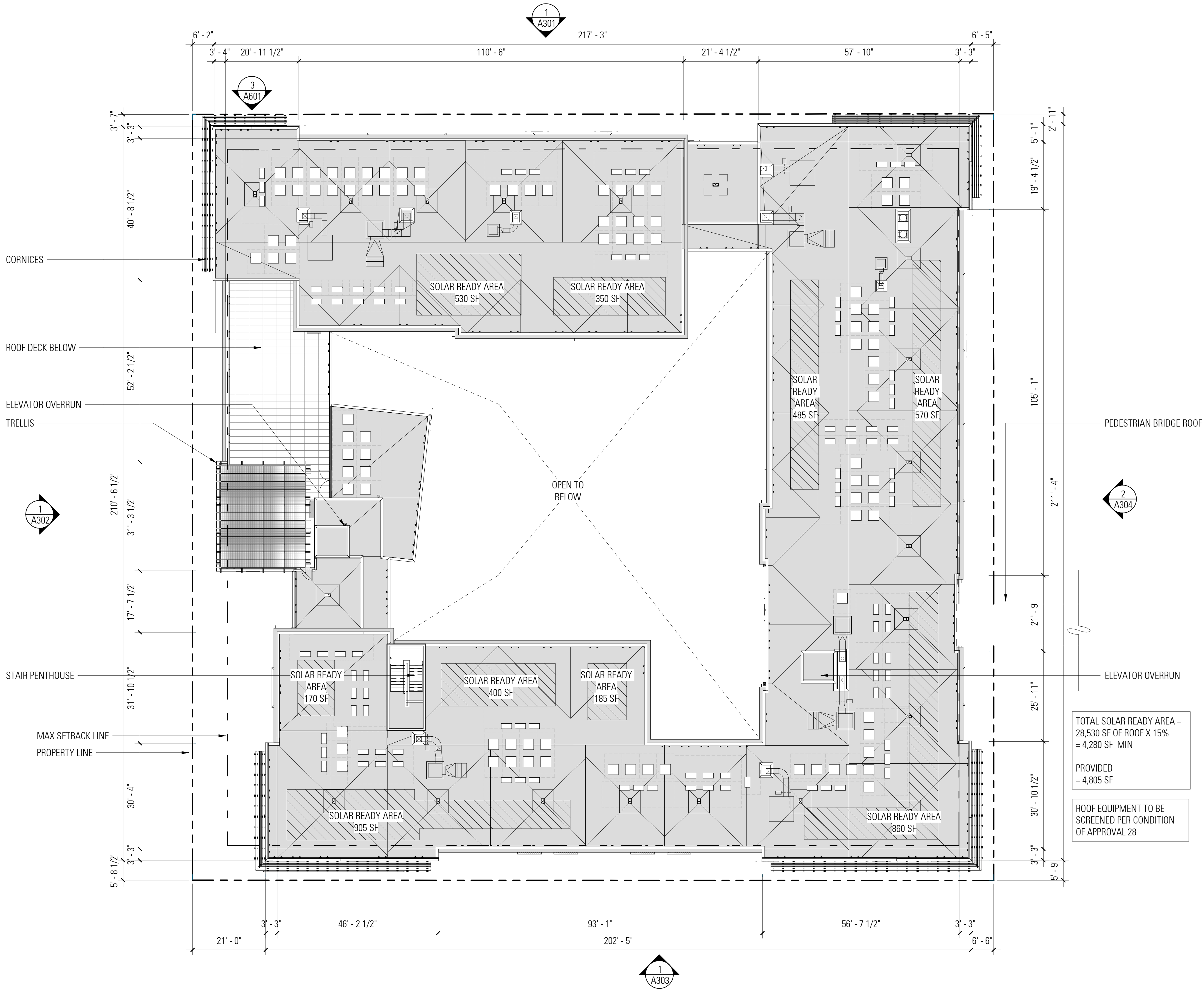
AS CURRENTLY PROPOSED









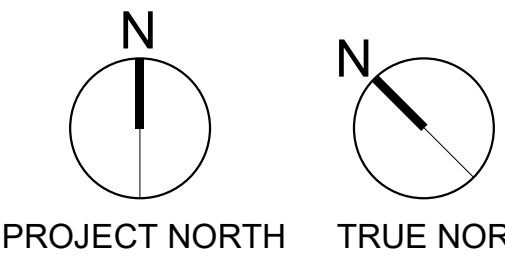
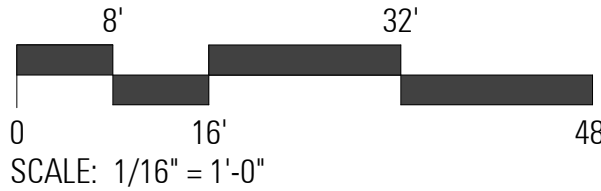


1  
A208

**ROOF PLAN - HOUSING BLOCK ENTL**

1/16" = 1'-0"

**AS CURRENTLY PROPOSED**



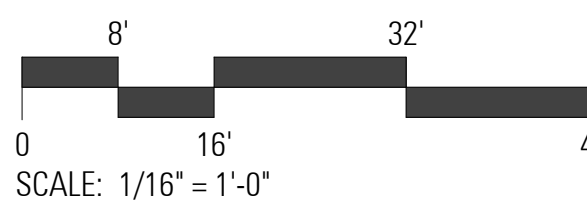
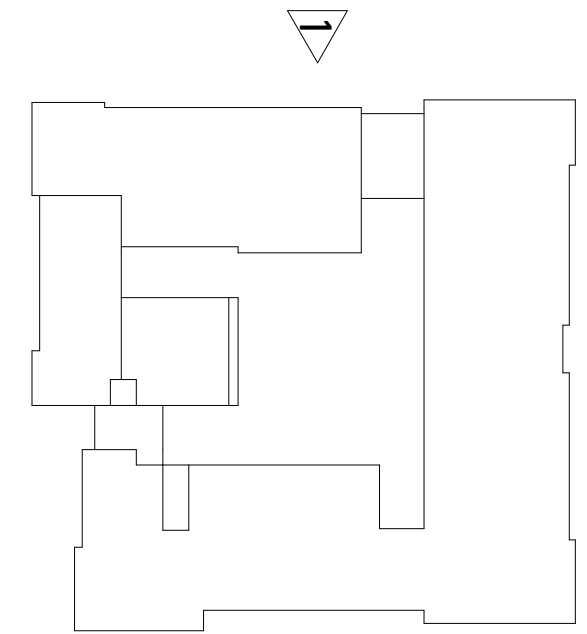




1  
A301  
EXTERIOR ELEVATION - NORTH - HOUSING BLOCK - STREET  
1/16" = 1'-0"  
AS CURRENTLY PROPOSED



1  
A301  
EXTERIOR ELEVATION - NORTH - HOUSING BLOCK - STREET  
1/16" = 1'-0"  
AS APPROVED







1  
A303  
1/16" = 1'-0"

**EXTERIOR ELEVATION - SOUTH - HOUSING BLOCK - STREET**

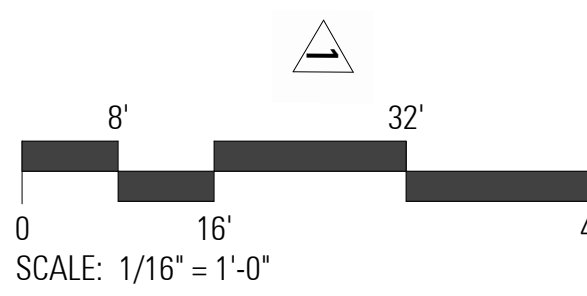
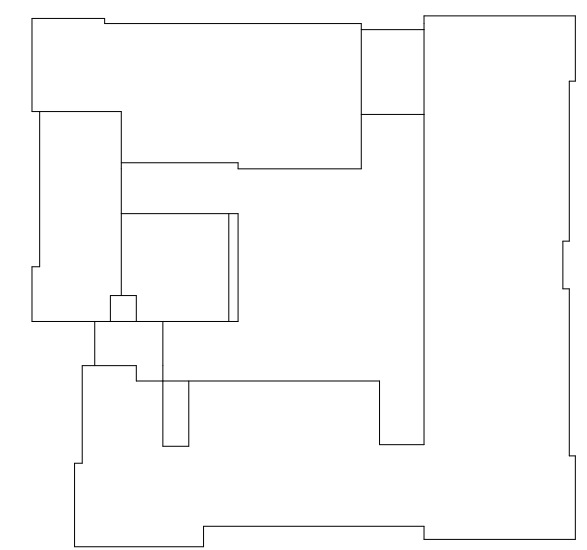
**AS CURRENTLY PROPOSED**



1  
A303  
1/16" = 1'-0"

**EXTERIOR ELEVATION - SOUTH - HOUSING BLOCK - STREET**

**AS APPROVED**







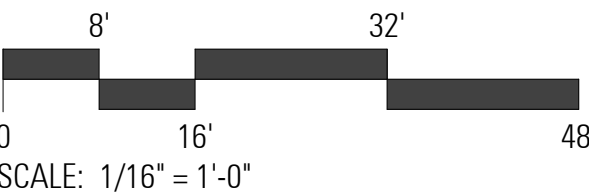
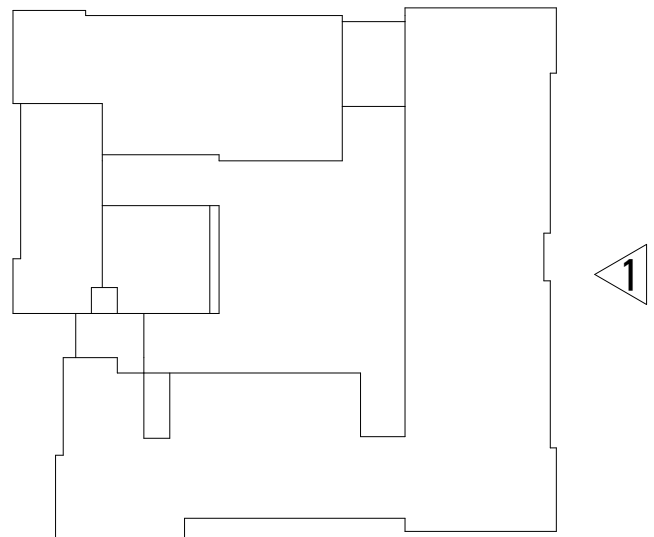
1  
A304  
EXTERIOR ELEVATION - EAST - HOUSING BLOCK - STREET  
1/16" = 1'-0"

AS CURRENTLY PROPOSED



1  
A304  
EXTERIOR ELEVATION - EAST - HOUSING BLOCK - STREET  
1/16" = 1'-0"

AS APPROVED















1  
A334

EXTERIOR ELEVATION - WEST - EXTERIOR MATERIALS

1/16" = 1'-0"

AS APPROVED





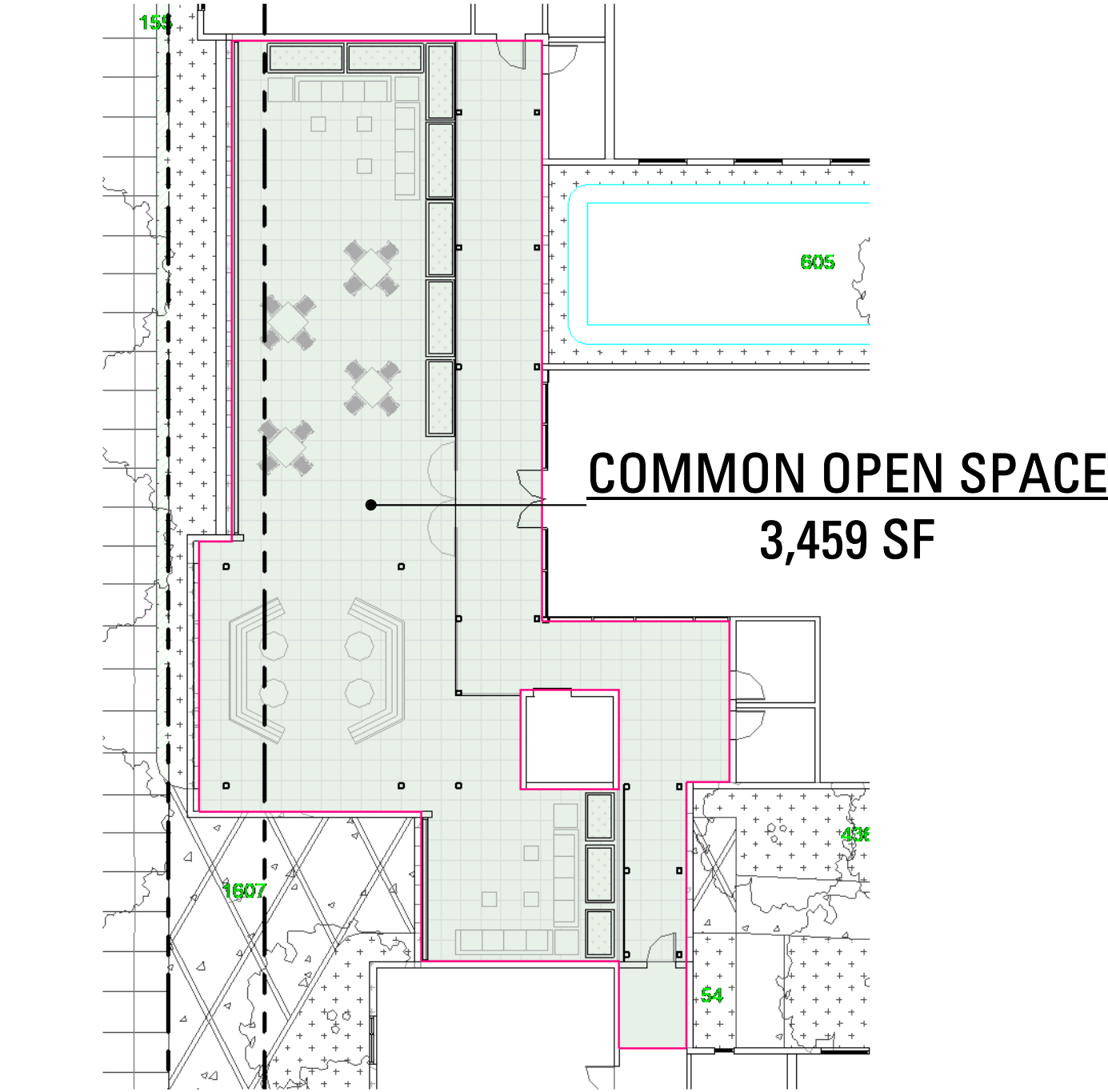
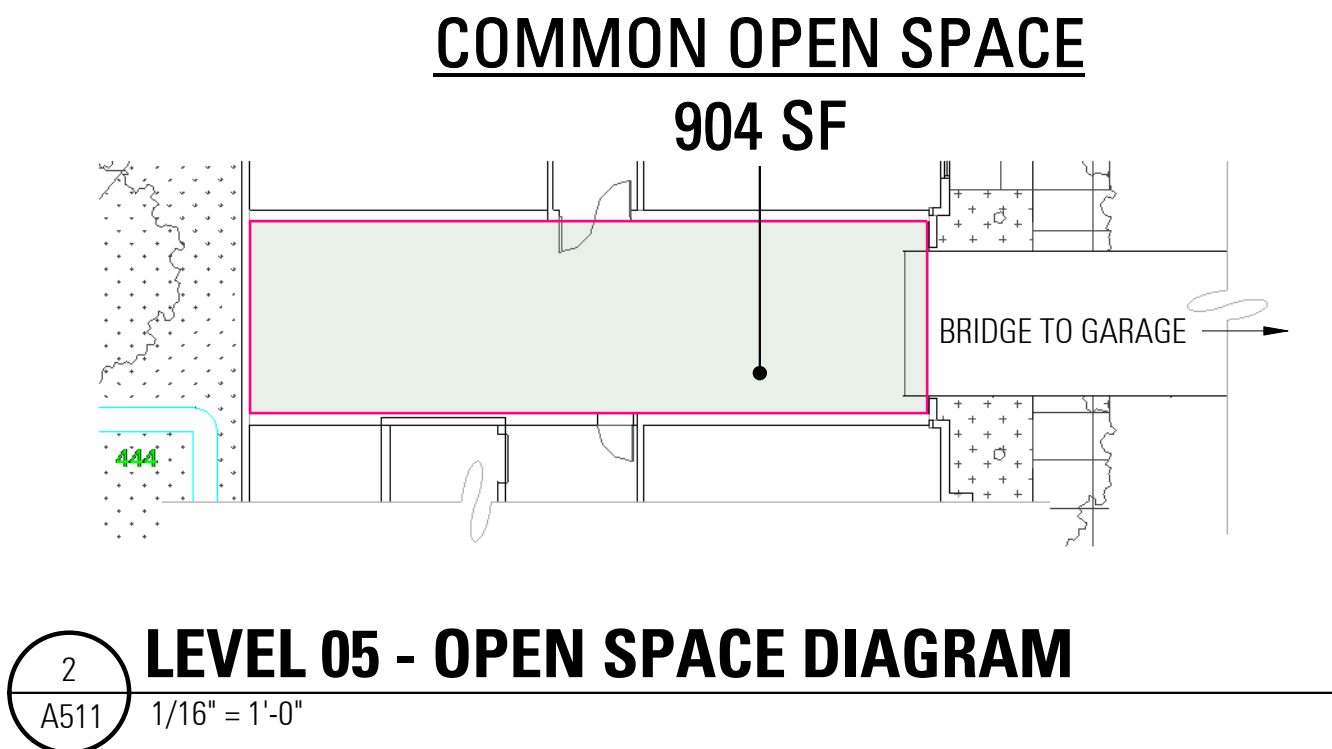
1  
A334  
EXTERIOR ELEVATION - WEST - EXTERIOR MATERIALS  
1/16" = 1'-0"

AS CURRENTLY PROPOSED





1 **LEVEL 01 - OPEN SPACE DIAGRAM**  
A511 1/16" = 1'-0"

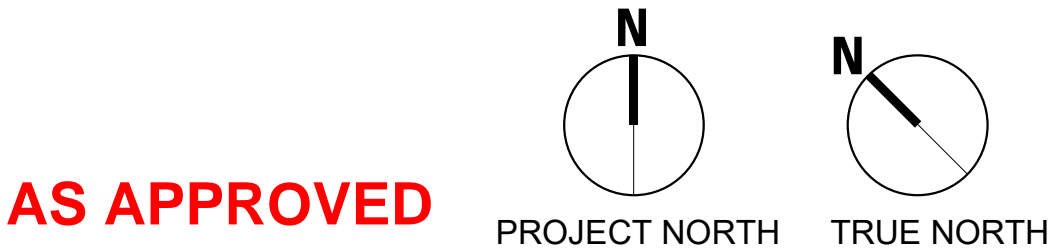


OPEN SPACE AREAS		
LEVEL	NAME	AREA
LEVEL 05	COMMON OPEN SPACE	904 SF
LEVEL 07	COMMON OPEN SPACE	3,459 SF
LEVEL 01(121.5' DATUM)	COMMON OPEN SPACE	16,641 SF
3		21,004 SF
LEVEL 01(121.5' DATUM)	PRIVATE OPEN SPACE	80 SF
LEVEL 01(121.5' DATUM)	PRIVATE OPEN SPACE	80 SF
LEVEL 01(121.5' DATUM)	PRIVATE OPEN SPACE	80 SF
LEVEL 01(121.5' DATUM)	PRIVATE OPEN SPACE	80 SF
4		320 SF
Grand total: 7		21,323 SF

**OPEN SPACE TABULATION**

TOTAL NUMBER OF UNITS: 225  
UNITS W/ PRIVATE OPEN SPACE (80sf MIN) = 4  
UNITS W/O QUALIFIED OPEN SPACE = 225 - 4 = 221  
REQUIRED COMMON OPEN SPACE: 221 UNITS x (80sf x 1.5) = 26,520 sf

TOTAL COMMON OPEN SPACE PROVIDED = 21,323 SF < 26,520 sf





EAST 4TH AVENUE

EAST 5TH AVENUE

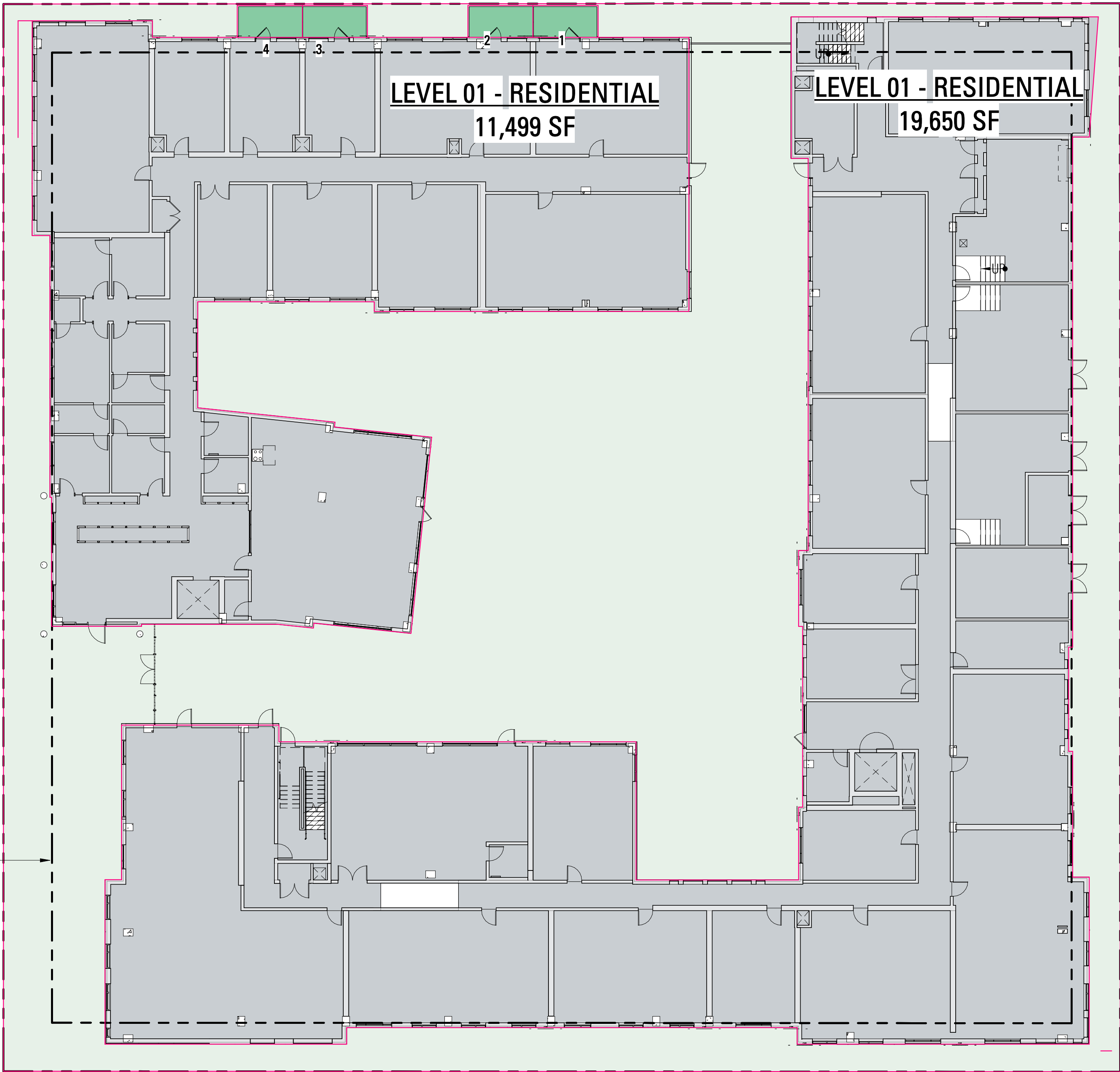
SOUTH CLAREMONT STREET

SOUTH RAILROAD AVENUE

MAX SETBACK LINE  
PROPERTY LINE

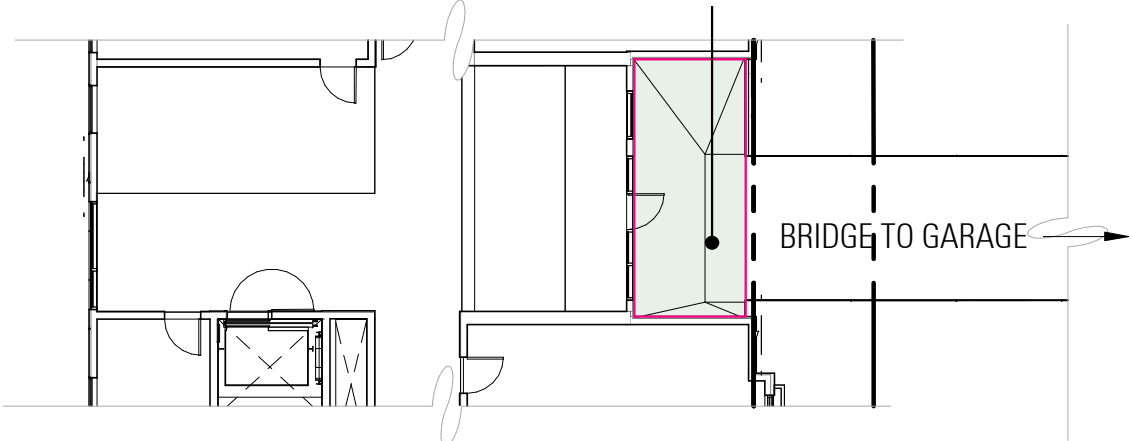
- COMMON OPEN SPACE
- PRIVATE OPEN SPACE
- LEVEL 01 - RESIDENTIAL

3  
A511  
LEVEL 01 - OPEN SPACE DIAGRAM  
1/16" = 1'-0"

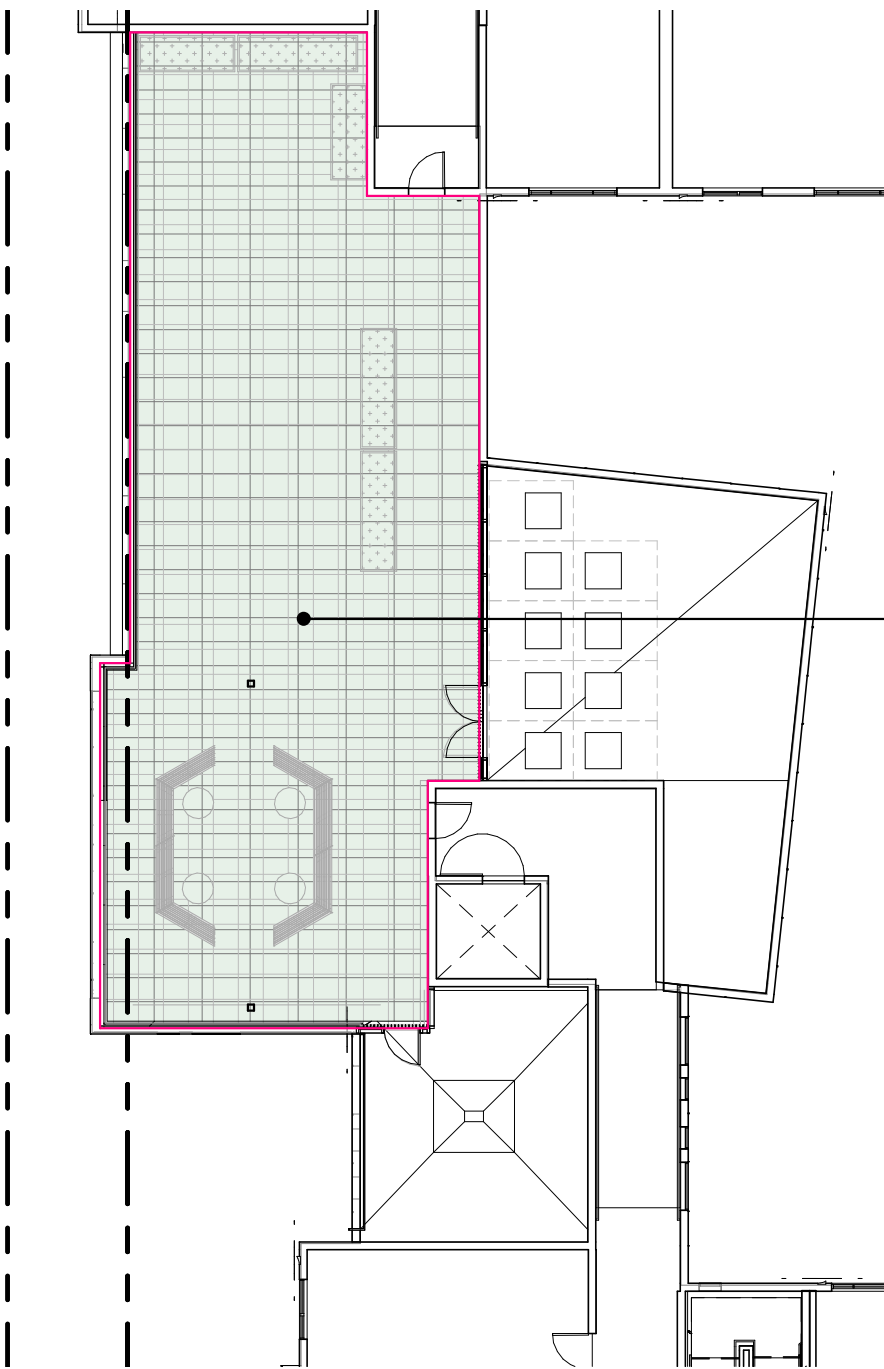


COMMON OPEN SPACE

199 SF



2  
A511  
LEVEL 05 - OPEN SPACE DIAGRAM  
1/16" = 1'-0"



COMMON OPEN SPACE

2,276 SF

1  
A511  
LEVEL 07 - OPEN SPACE DIAGRAM  
1/16" = 1'-0"

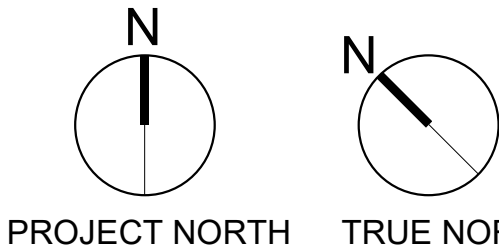
OPEN SPACE AREAS		
LEVEL	NAME	AREA
LEVEL 05	COMMON OPEN SPACE	199 SF
LEVEL 07	COMMON OPEN SPACE	2,276 SF
LEVEL 01b (121.5')	COMMON OPEN SPACE	19,086 SF
3		21,561 SF
LEVEL 01b (121.5')	PRIVATE OPEN SPACE	88 SF
LEVEL 01b (121.5')	PRIVATE OPEN SPACE	88 SF
LEVEL 01b (121.5')	PRIVATE OPEN SPACE	88 SF
LEVEL 01b (121.5')	PRIVATE OPEN SPACE	88 SF
4		353 SF
TOTAL: 7		21,914 SF

OPEN SPACE TABULATION

TOTAL NUMBER OF UNITS: 225  
UNITS W/ PRIVATE OPEN SPACE (80sf MIN) = 4  
UNITS W/O QUALIFIED OPEN SPACE = 225 - 4 = 221  
REQUIRED COMMON OPEN SPACE: 221 UNITS x (80sf x 1.5) = 26,520 sf

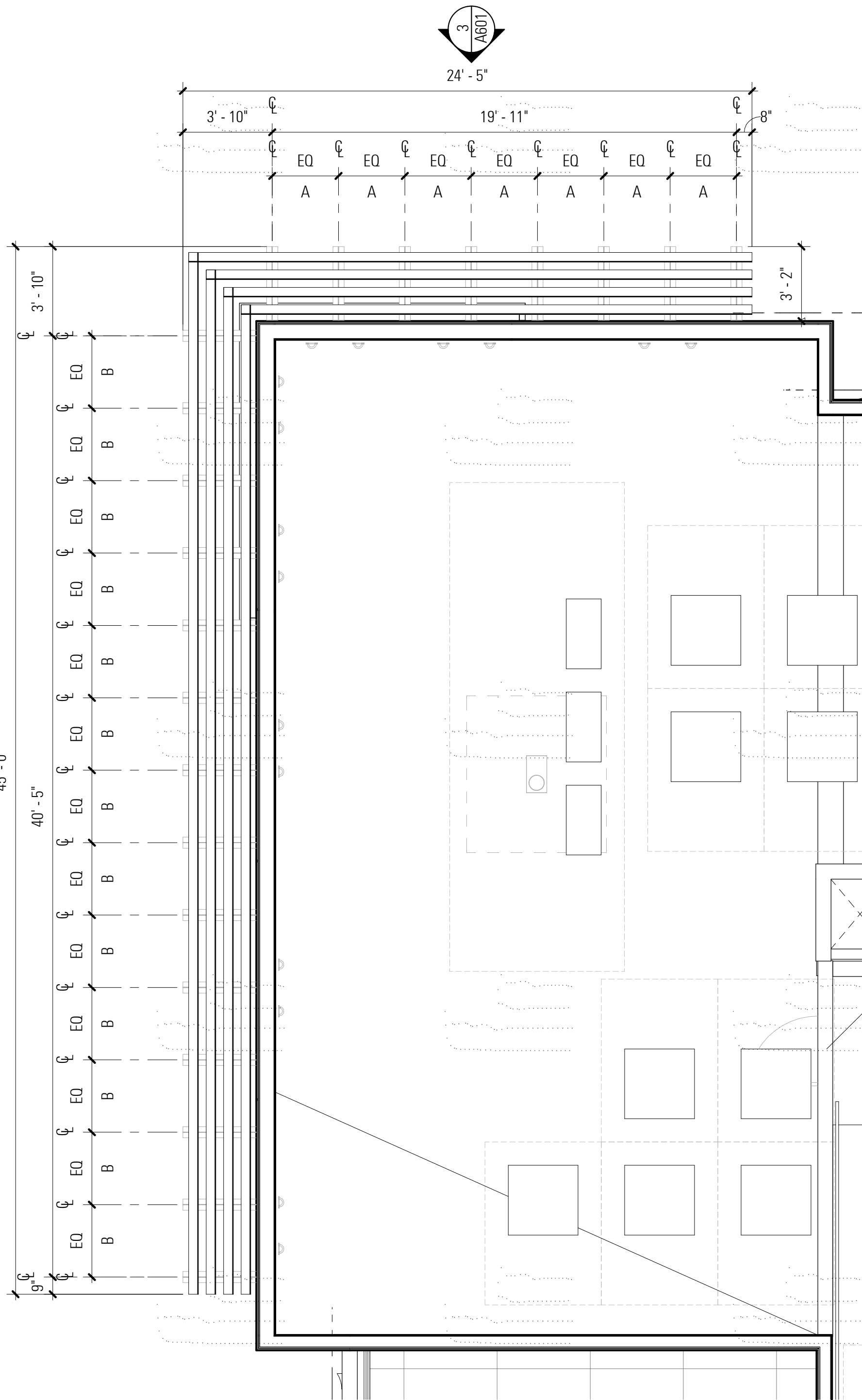
TOTAL COMMON OPEN SPACE PROVIDED = 21,914 SF < 26,520 sf

AS CURRENTLY PROPOSED

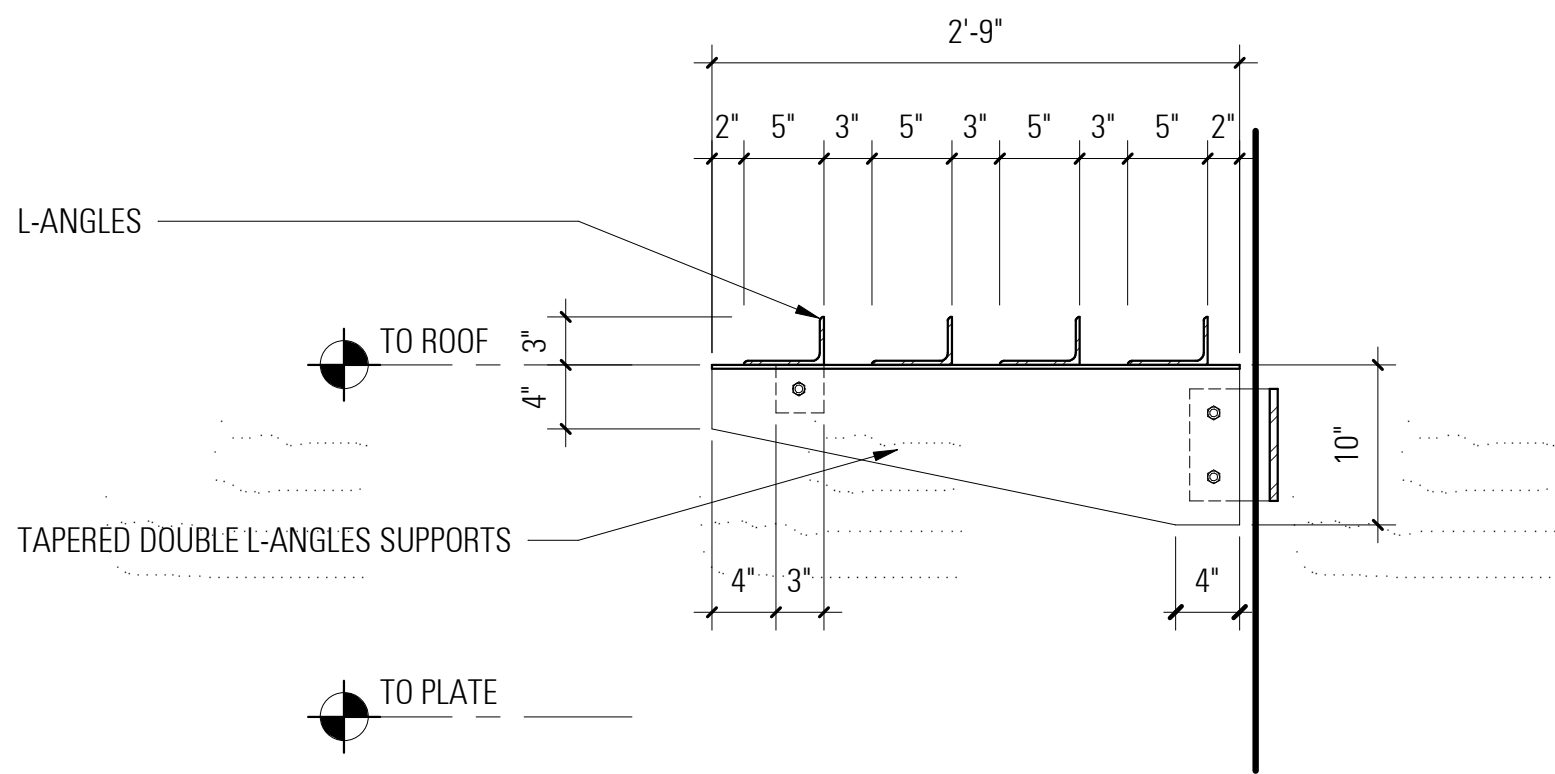


OPEN SPACE DIAGRAM

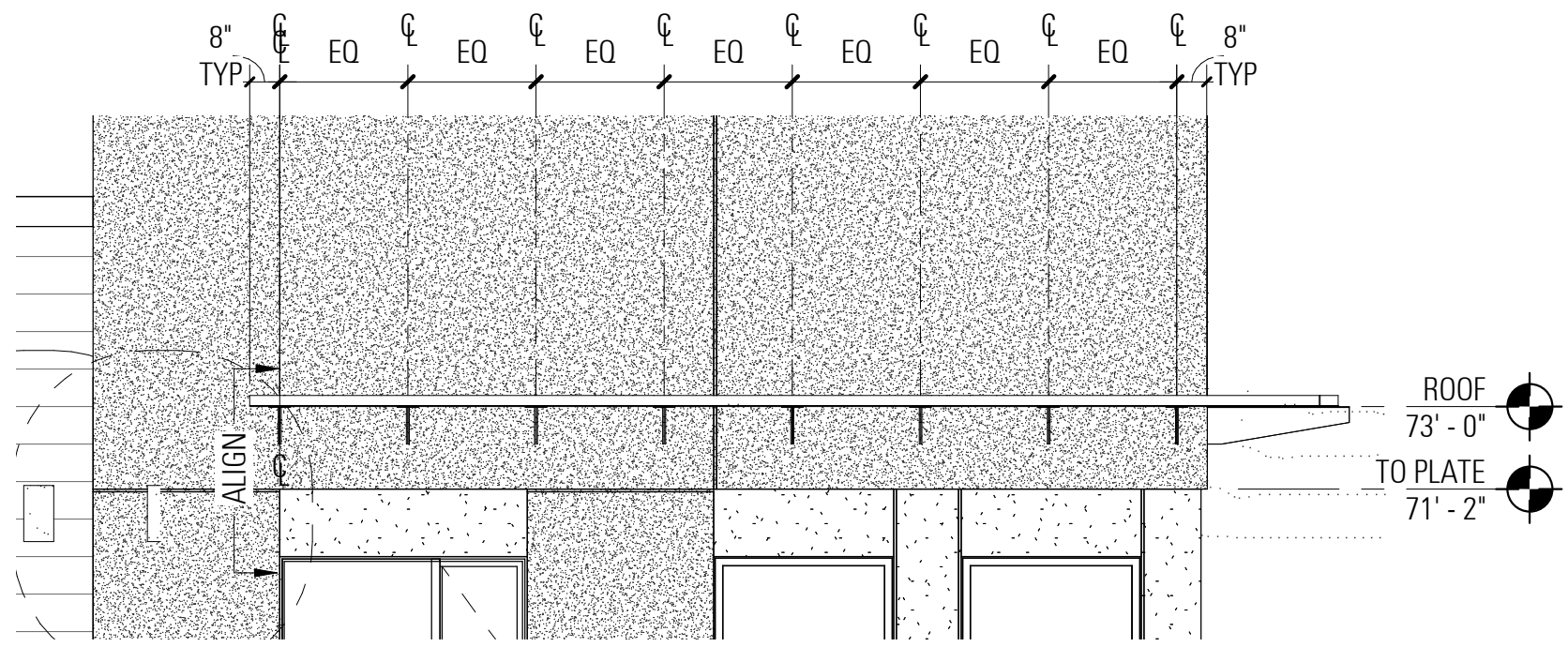




**CORNICE - PLAN VIEW (NW Corner)**



**4** **TYP CORNICE - ENLARGED SECTION**  
A601 1" = 1'-0"



**CORNICE - ENLARGED ELEVATION (NW Corner)**



**CORNICE - AXON VIEW (NW Corner)**



**CORNICE - AXON VIEW (NW Corner)**

## AS CURRENTLY PROPOSED





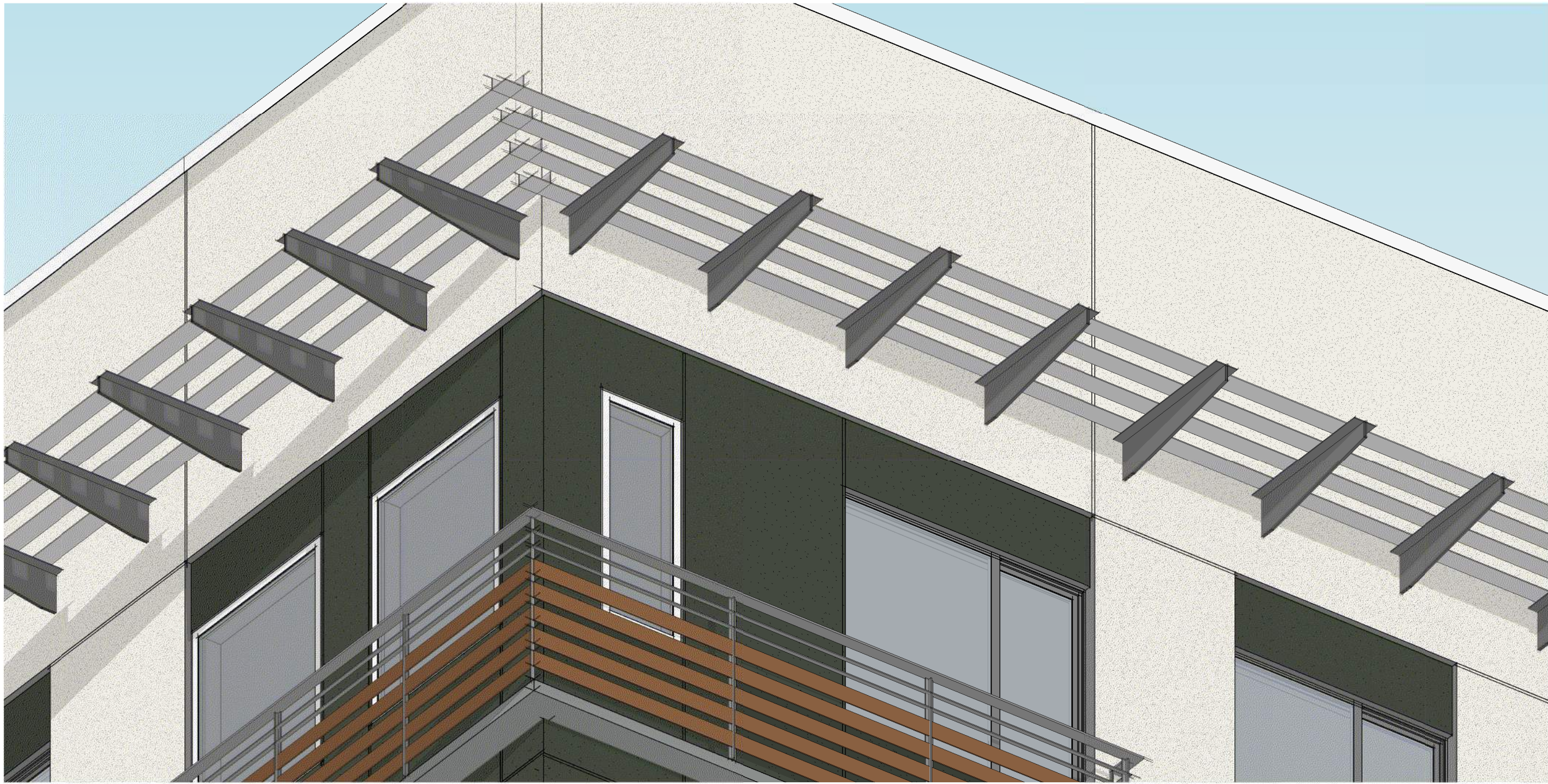
4  
A602  
**CORNICE - AXON VIEW (NW Corner) - ABOVE**



2  
A602  
**CORNICE - AXON VIEW (NW Corner) - STREET**



3  
A602  
**CORNICE - AXON VIEW (NW Corner) - ABOVE**



1  
A602  
**CORNICE - AXON VIEW (NW Corner) - STREET**

AS CURRENTLY PROPOSED